

TO

Ms. Jennifer Stanhope
U.S. Environmental Protection Agency
Region 5
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DEPARTMENT

Environment

DATE

June 12, 2024

PROJECT NUMBER

30214041.00006

COPIES TO

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SUBJECT

RACER Pontiac North Campus – 2023 Property Inspection Report

Introduction

Arcadis of Michigan, LLC (Arcadis) has prepared this memorandum to summarize the results of 2023 property inspections performed on behalf of Revitalizing Auto Communities Environmental Response (RACER) Trust for the Pontiac North Campus Site (Site) located in Pontiac, Michigan (**Figure 1**). The purpose of the inspections is to help fulfill RACER's long-term stewardship obligations. The inspections included review of property conditions and features to assess if ongoing activities at the Site are being performed in general conformance with RACER's obligations and for properties no longer owned by RACER, that recorded deed restrictions considered to be necessary as part of corrective measures are being followed by the respective property owners. For discussion purposes in this report, the Site has been divided into three areas based on RACER Site Numbers. These areas are listed below. Additional ownership/activity details are provided in the following section for each of the properties.

RACER Site Number 11210 (Figure 2A)

- Former Fiero Assembly Property
- Former Fiero Parking Lots

RACER Site Number 11610 (Figure 2A)

- Former Fiero Powerhouse Properties

RACER Site Number 11970

- USPS Property (**Figure 2B**)
- Former Plant 14S (Plants 5 and 23) (Tatro Property) (**Figure 2C**)
- Former Plant 25 Property (**Figure 2D**)
- Former Plant 15 Property (**Figure 2E**)
- Rail Parcels (**Figure 2A, 2D, and 2E**)
- Former Stormwater Detention Facility (Duck Pond) (**Figure 2F**)

The scope of the annual inspection for 2023 encompassed the following activities:

- Observation of each property to assess compliance with recorded and/or planned Amended Declarations of Restrictive Covenant (DRCs) or Environmental Easement and Use Restriction Agreements (EEURAs), (collectively Deed Restrictions), terms and conditions. This includes defined institutional controls (ICs) and engineering controls (ECs), including but not limited to an observation of property conditions for nonresidential usage, installation of groundwater wells, soil management requirements, and soil vapor considerations for occupied building structures.
- As part of assessing ECs, inspection of five polychlorinated biphenyl (PCB) soil cap areas at the Site was completed and recommendations, specifically mowing vegetation and replacing/repainting location stakes for improved visibility, are provided in this report. This includes three defined areas at the USPS property (TSCA [Toxic Substance Control Act] Cap Area 1/West Yard North Cap Area, TSCA Cap Area 2/West Yard South Cap Area, TSCA Cap Area 3/Southeast Parking Lot Area) and two defined areas at the Former Plant 14S property (Area 1/West TSCA Cap and Area 2/East TSCA Cap). These areas are depicted on **Figures 2B and 2C**.
- Inspection of RACER groundwater monitoring wells, soil vapor monitoring ports (SVMPs), and protective structures (bollards/concrete barriers) as relevant and present on each property
- Visual inspection of RACER Off-Site Monitoring Wells and SVMPs were also completed

Summary of Requirements & Features

For each area of the Site listed in the Introduction above, the following table summarizes Deed Restrictions and the adopted City of Pontiac water well restriction; specifies the current owner, occupant, and business activity at each property; and lists the Table number which summarizes the condition of existing monitoring wells and SVMP's located on each property. A figure showing parcel boundaries, parcel numbers, and Deed Restrictions is included in **Attachment 1**. Information related to ownership and occupant was obtained through Oakland County Records and visual inspection. Refer to **Figure 2A through Figure 2F** for locations of monitoring wells and SVMPs respective to each property as well as property specific features.

RACER PNC Property	DRC / EEURA	Owner / Occupant / Activity as of November 2023	Parcel Number and Address, if available	Monitoring Wells & SVMPs
Former Fiero Assembly	EEURA (10/17/2012)	Baldwin Pontiac LLC / GFL (Waste Transfer Station)	14-17-453-036, 14-17-453-037, 14-20-201-006 888 Baldwin Ave, Pontiac, MI	See Table 1

RACER PNC Property	DRC / EEURA	Owner / Occupant / Activity as of November 2023	Parcel Number and Address, if available	Monitoring Wells & SVMPs
Former Fiero Parking Lots	No current deed restrictions (RACER to record restrictions prior to transferring the property or following USEPA approval of final remedy)	RACER Properties LLC – Unoccupied & Vacant	14-17-384-003, 14-20-130-018	See Table 2
Former Fiero Powerhouse	No current deed restrictions (RACER to record restrictions prior to transferring the property or following USEPA approval of final remedy)	RACER Properties LLC	14-20-201-004 824 St. Clair St, Pontiac, MI	See Table 3
USPS	RC-OWMRP-111-21-006 (1/18/2022 (reviewed and agreed to by the US Postal Service, Department of Justice, and USEPA as part of the property transfer process)	USPS (Postal Processing & Distribution Center)	14-21-101-007 711 N. Glenwood Ave, Pontiac, MI	See Table 4

RACER PNC Property	DRC / EEURA	Owner / Occupant / Activity as of November 2023	Parcel Number and Address, if available	Monitoring Wells & SVMPs
Former Plant 14S (Plant 5 and 23)	RC-OWMRP-111-20-002 (05/12/2020) (approved by USEPA on 4/17/20)	Tatro Michigan Land Holdings, LLC transferred to DEEBARRY LLC on 12/1/2022 (original parcel 14-20-276-001) Tatro Michigan Land Holdings, LLC transferred to LAFUERTE LLC on 12/1/2022 (parcel 14-20-101-008 was split from 14-20-276-001) (currently occupied by landscaping material company - Bedrock)	14-20-276-002, 14-21-101-008 (split from original parcel number 14-20-276-001 – deleted parcel) 501 N. Glenwood Ave, Pontiac, MI	See Table 5
Former Plant 25	EEURA (07/15/2011)	JADC Ventures, LLC / Dani's Excavating (general contractor staging area)	14-17-276-005 225 E. Columbia Ave, Pontiac, MI	See Table 6
Former Plant 15	EEURA (05/14/2012)	K B & T East LLC / U-Pull & Save Auto Parts (sell used auto parts from old cars stored on-site)	14-17-426-003 240 E. Columbia Ave, Pontiac, MI	See Table 7
Rail Parcels	RC-OWMRP-111-20-001 (05/12/2020) (approved by USEPA on 4/17/20)	Tatro Michigan Land Holdings, LLC LAFUERTE LLC (parcel 14-20-276-003) Jimenez Investments, Inc. (parcel 14-20-276-004) (vacant)	14-20-276-004, 14-20-276-003, 14-17-427-002 (split from parcel number 14-17-427-001) 14-17-276-004, 14-17-227-001	See Table 8
Duck Pond	RC-OWMRP-111-16-03 (09/21/2016)	RACER Properties LLC – Unoccupied & Vacant	14-20-426-005 200 E. Montcalm St, Pontiac, MI	See Table 9

RACER PNC Property	DRC / EEURA	Owner / Occupant / Activity as of November 2023	Parcel Number and Address, if available	Monitoring Wells & SVMPs
Off-Site	GW Ordinance (City of Pontiac Municipal Code, Chapter 58 – Environment, Article VIII – Water Well Restriction - Figure 1)	Numerous	Numerous	See Table 10

Standard conditions vary somewhat among the Deed Restrictions, and several standard conditions are listed below:

- Property usages are all restricted to only Nonresidential (Commercial or Industrial)
- No drinking water wells may be installed or used on any property
- No groundwater extraction wells may be installed or used on the property, except for wells and devices that are part of a USEPA, or Michigan Department of Environment, Great Lakes, and Energy (EGLE) approved response activity
- No contaminated soils may be relocated on the properties except as provided under Michigan Part 201
- No treatment, storage, or disposal (TSD) activities or release of hazardous substances may occur at the properties in a manner which would require a permit under RCRA unless approved in advance in writing by USEPA or EGLE, and RACER
- Owners shall manage contaminated soils (if present) and/or debris (if present) and all other soils encountered in accordance with RCRA, Michigan Parts 111 and 201, and in some cases TSCA
- Owners shall prohibit construction and/or occupancy of any new buildings, structures, basements and/or additions to existing structures on the properties unless such construction and/or occupancy incorporates engineering controls designed to eliminate the potential for subsurface vapors or hazardous substances to migrate into the structures at concentrations greater than regulatory criteria, or unless an evaluation is conducted to evaluate the potential for migration, in which instance documentation must be submitted to EGLE or USEPA for approval
- Owners shall not construct or install subsurface utilities, structures or other features at the properties unless approved in advance by USEPA or EGLE as applicable, and RACER, and such features are designed to eliminate the potential for features to be a preferential pathway for impacted subsurface water or vapor or eliminate the potential for subsurface features to release fluids that could infiltrate through the subsurface and exacerbate impacts to groundwater
- Owners will not remove, disturb, interfere with, or damage any monitoring wells, soil gas ports, or remediation systems present or to be installed without USEPA or EGLE approval on the properties

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- Owners will not perform any excavation or other intrusive activities, including but not limited to removal, disturbing, damaging, interfering, or otherwise negatively affecting the integrity, effectiveness, and operation of exposure barriers (concrete, asphalt or soil) that may be installed/present in the future pursuant to USEPA or EGLE approval, except if 1) a plan for such activity is submitted and approved by USEPA or EGLE as applicable and RACER in writing in advance, 2) the activity is temporary (less than 60 days), 3) is conducted in accordance with all applicable environmental laws, and 4) does not cause or result in a release, exacerbation of a pre-existing environmental condition or any other violation of laws
- Owners shall not remove existing storm sewer inlet seals nor the storm sewer bulkheads that may be installed/present in the future except pursuant to USEPA or EGLE approval

Other Property-specific restrictions apply as follows:

- USPS Property
 - The vapor venting system for the USPS Building is the responsibility of USPS and if USEPA would like information regarding this system it is recommended that USEPA directly contact USPS
 - Five areas (Area 1 through Area 5) of the property with PCB Remediation Waste have Low Occupancy use restrictions unless a change is approved by USEPA and RACER. Additionally, within these Low Occupancy areas three PCB Cap Areas, which are generally constructed of soil with a vegetative cover and a geotextile demarcation layer or pavement and underlying base material (cap), are required to remain in place. These areas are identified as the TSCA Cap Area 2/West Yard South Cap, TSCA Cap Area 1/West Yard North Cap, and TSCA Cap Area 3/Southeast Parking Lot. Refer to **Figure 2B** for the locations of the PCB Areas and TSCA Cap Areas at the USPS Property.
- Former Plant 14S Property
 - Four areas (Area 1 through Area 4) of the property with PCB Remediation Waste have Low Occupancy use restrictions unless a change is approved by USEPA and RACER Trust. Area 1 (West TSCA Cap) and Area 2 (East TSCA Cap) have soil with vegetative cover (cap). Area 2 also has a geotextile demarcation layer beneath the soil. Refer to **Figure 2C** for the locations of the PCB Areas and TSCA Cap Areas at the Former Plant 14S Property.
 - Prior to removing any slabs, pavement, or other impervious surfaces, Owner must obtain written approval from USEPA or EGLE, and RACER

Annual Inspection Field Activities

For the 2023 calendar year, Arcadis mobilized to the Site during two different periods to perform inspections.

- On October 2nd, 3rd, 5th and 11th, 2023, Sierra Sider of Arcadis mobilized to the Site to perform visual inspections of the monitoring wells and SVMPs at each property. The monitoring wells and SVMPs were located using Site figures and the use of an R2 (Global Positioning System [GPS] unit) utilizing coordinates for each of the locations.
- On Wednesday, October 10, 2023, Tiffany Linder of Arcadis mobilized to the Site to perform visual inspections of the five PCB cap areas (two at the Former Plant 14S Property and three at the USPS Property). In addition, Tiffany Linder performed visual inspections of each property to evaluate to the extent practical, compliance with associated Deed Restrictions.

Annual Inspection Results

General Deed Restriction Conditions

For each of the RACER properties (currently or previously owned), the table below and on the following pages summarizes the conditions observed during the Deed Restriction inspections conducted on October 10, 2023. The full written inspection forms can be found in **Attachment 2**. Additionally, a Change Detection Analysis Report, provided by Space Know can be found in **Attachment 3**. Land surface changes (material stockpiling) are identified at Former Plant 25 (due to nature of the business) and Former Plant 14S (due to the nature of the business).

RACER PNC Property	Water Wells	Contaminated Soil Management	Building Construction/ Additions	Subsurface Utility/Feature Installation	Land Use – Non-Residential	Comments
Former Fiero Assembly						Site is used by GFL to store trucks, materials, dumpsters, and garbage cans. Existing buildings are utilized by GFL. No construction activities were observed during the Site visit. Some refuse seen blowing around and on ground near new building addition.
Former Fiero Parking Lots						Site is fenced and locked, grass overgrowth and debris (garbage) observed on site.
Former Fiero Powerhouse						Site is leased to store truck trailers; property is surrounded by fence and locked.

RACER PNC Property	Water Wells	Contaminated Soil Management	Building Construction/ Additions	Subsurface Utility/Feature Installation	Land Use – Non- Residential	Comments
Former Plant 15	Land use observed to be non-residential; no water wells observed; no evidence of recent soil movement/excavation; no new buildings observed; no evidence of new utility installation observed. Staining observed on concrete beneath vehicles stored at the Site due to vehicle fluids being released to ground surface when parts are pulled from the vehicle.					Site used to store old cars for parts. U-pull and save is a self-pull auto parts place. Site kept organized with many vehicles parked across the site.
Former Plant 25	Land use observed to be non-residential; no water wells observed; no evidence of recent soil movement/excavation (other than rubble storage piles that are part of the current onsite business); no new buildings observed; no evidence of new utility installation observed; no evidence of staining where visually evaluated during inspection other than some sheen in parking lot area where it was wet from rainwater. Types of materials stored onsite included bricks, concrete, soil, and truck trailers. Large soil pile that encompasses most of the central portion of the property is larger compared to last year's inspection.					Site currently used to store construction materials (soil, concrete, rock piles) and landscaping materials. Large piles of these materials are located throughout the site.
Former Plant 14S (Plants 5 and 23)	Land use observed to be non-residential use; no water wells observed; no evidence of recent soil movement/excavation (other than soil piles and other material piles stored onsite as part of the business); no buildings observed other than small office trailer; no evidence of new utility installation observed; no areas of staining observed where visually evaluated. Materials stored include wood chips, soil, tree debris, concrete, and mulch. Low occupancy areas are intact and area in central portion is being used for mulch storage.					Property used to store landscaping materials and equipment. Signs are present indicating the locations of the TSCA cap areas and markers present noting extent of cap area.
Rail Parcels	Land use observed to be non-residential (property is vacant); no water wells observed; no evidence of recent soil movement/excavation; no buildings observed; no evidence of new utility installation observed; no areas of staining observed where visually evaluated, with the exception of one small area in the southern portion of the west rail parcel.					Rail parcels were inspected where accessible from neighboring properties. Rail tracks were observed on northern parcels; however, they did not look active/in use.

RACER PNC Property	Water Wells	Contaminated Soil Management	Building Construction/ Additions	Subsurface Utility/Feature Installation	Land Use – Non-Residential	Comments
USPS	Land use observed to be non-residential; no water wells observed; no evidence of recent soil movement/excavation; no new buildings observed; no evidence of new utility installation observed; no evidence of staining where visually observed. No structures or disturbance noted in PCB Low Occupancy Areas.					RACER Montcalm Seep Injection System was observed in the northwestern portion of the Site and was operating as intended. Site was neat, clean, and secure.
Duck Pond	Land use observed to be non-residential (property vacant); no water wells observed; no evidence of recent soil movement/excavation; no structures observed; no evidence of new utility installation observed; no evidence of staining where visually observed.					Site is fenced and locked; RACER Trust signs on fence for ownership. Grass is cut and well maintained.

TSCA Cap Areas

For each TSCA (PCB) Cap, the following summarizes the conditions observed during the inspections conducted on October 10, 2023. The inspection reports can be found in **Attachment 2** and the written inspection forms and marker survey information can be found in **Attachment 5**.

USPS Property

- USPS TSCA Cap Area 1/West Yard North
 - Fencing is in place and gates are closed and locked to limit access
 - No site operations have caused disturbance or infringed into the cap area
 - All ten permanent monuments to identify limits and elevations are intact and legible. Some of the markers are located in tall vegetation, making them hard to locate. May want to cut vegetation in immediate vicinity of markers and re-paint orange stakes near markers for better visibility.
 - Measured elevations of the ten permanent monument markers indicate that no significant erosion has occurred, and that sufficient cap material is present above the impacted material
 - Grass is in good condition
 - No evidence of erosion or visible indication of demarcation barrier
 - Cap is free of larger trees, but tall reeds and vegetation observed along with ponding water in areas
 - Cap area is free of debris and trash
 - In summary, no current conditions warrant corrective measures, with the exception of cutting vegetation and re-painting stakes orange for better visibility

- USPS TSCA Cap Area 2/West Yard South
 - Fencing is in place and gates are closed and locked to limit access
 - No site operations have caused disturbance or infringed into the cap area
 - All eight of the permanent monuments to identify limits and elevations are intact and legible; however, tall reeds and vegetation observed made some of the markers hard to locate
 - Measured elevations of the eight permanent monument markers indicate that no significant erosion has occurred, and that sufficient cap material is present above the impacted material
 - Grass is in good condition
 - No evidence of erosion or visible indication of demarcation barrier
 - Cap is free of larger trees but tall reeds and vegetation observed along with ponding water
 - Cap area is free of debris and trash
 - In summary, no current conditions warrant corrective measures, with the exception of mowing vegetation and re-painting stakes orange for better visibility
- USPS TSCA Cap Area 3/Southeast Parking Lot
 - Fencing is in place and gates are closed and locked to limit access
 - No site operations have caused material disturbance to the cap area
 - Paved surfaces are intact and in good condition
 - Grass is in good condition where present
 - No evidence of erosion
 - Cap is free of larger trees
 - Cap area is mostly free of debris and trash
 - In summary, no current conditions warrant corrective measures

Former Plant 14S (Plants 5 and 23)

- Area #1/West TSCA Cap
 - The six stakes to define cap boundaries are in place and in good condition, but may want to re-paint orange for better visibility
 - Signs are posted to communicate cap location and RACER contact information and are in good condition
 - No site operations have caused disturbance or infringed into the cap area
 - Fencing is in place to limit access
 - All ten permanent monuments to identify limits and elevations are intact and legible. S1-5 and S1-6 are set near ground level.
 - Measured elevations of the permanent monument markers present indicate that no significant erosion has occurred, and that sufficient cap material is present above the impacted material
 - Grass is in good condition
 - No evidence of significant erosion. Some small areas of what appears like buried silt fencing from previous soil erosion control requirements can be seen near the south side of the cap.
 - Cap was free of tall vegetation and larger trees as clearing occurred in September 2022
 - Cap area is free of debris and trash
 - In summary, no current conditions warrant corrective measures, with the exception of the replacement and re-painting stakes orange for better marker visibility

- Area #2/East TSCA Cap
 - Four stakes to define cap boundaries are in place and in good condition, but may want to re-paint orange for better visibility of marker locations
 - Signs are posted to communicate cap location and RACER contact information and are in good condition
 - No site operations have caused disturbance or infringed into the cap area
 - Fencing is in place to limit access
 - Six permanent monuments to identify limits and elevations are intact and legible
 - Measured elevations of the six permanent monument markers indicate that no significant erosion has occurred, and that sufficient cap material is present above the impacted material
 - Grass is in good condition
 - No evidence of erosion or visible indication of demarcation barrier
 - Vegetation growth is minimal based on brush cutting completed in 2022
 - Cap area is free of debris and trash
 - In summary, no current conditions warrant corrective measures, other than re-painting stakes orange for visibility

Monitoring Wells and Soil Vapor Monitoring Points

For each of the RACER properties, the table on the following pages summarizes the conditions observed during the well and SVMP inspections conducted from October 2nd through October 11th, 2023. Refer to **Tables 1 through 10** for monitoring well and SVMP status (located and not located) and **Figures 2A through 2F** for well and SVMP locations.

RACER PNC Property	Wells and SVMPs Located on Property	Comments
Former Fiero Assembly (Table 1 and Figure 2A)	17/20 wells located (7/7 wells used for annual groundwater monitoring were located) (Note: in the prior 2022 Annual Report text the number of wells that were recorded under Fiero Assembly was incorrect and this has been corrected)	MWF16-02 and MWF16-20 were located in 2023 but have been damaged by GFL construction activities. MWF16-19 was likely covered by GFL construction materials at the time of inspection. MWF16-09 was located in 2022 but could not be located during 2023 inspection
Former Fiero Parking Lots (Table 2 and Figure 2A)	5/5 wells located (5/5 wells used for annual groundwater gauging were located)	All gauging wells in good condition.
Former Fiero Powerhouse (Table 3 and Figure 2A)	18/18 wells located (7/7 wells used for annual groundwater monitoring were located)	Wells in good condition except for some missing locks and in a condition where the lids can no longer be bolted.

RACER PNC Property	Wells and SVMPs Located on Property	Comments
USPS (Table 4 and Figure 2B)	68/69 wells located (33/34 wells used for annual groundwater monitoring were located)	TW-11-02 was not located but was likely under parked vehicles; some wells had missing bolts or lid will not close.
Former Plant 14S (Plants 5 and 23) (Table 5 and Figure 2C)	3/3 wells located (3/3 wells used for annual groundwater monitoring were located)	MWM2-22 was labeled incorrectly and did not have a lid. The well was properly labeled at a later date.
Former Plant 25 (Table 6 and Figure 2D)	10/47 wells located (5/6 wells used for annual groundwater monitoring were located)	Majority of wells are covered with soil, gravel, and debris piles and therefore could not be located. MWM4-06R was not located during the annual inspection but was found before the inspection and was gauged during the annual gauging event in 2023.
Former Plant 15 (Table 7 and Figure 2E)	16/27 wells located (3/3 wells used for annual groundwater monitoring were located)	Many wells are apparently covered with scrap cars; some missing lids or in a condition where the lids can no longer be bolted.
Rail Parcels (Table 8 and Figures 2A, 2C, and 2D)	5/7 wells located (2/3 wells used for annual groundwater monitoring were located)	SB-73-15 has been confirmed destroyed and MWM4-05 could not be accessed as in a locked property but was previously accessed and gauged during the annual gauging event in 2023.
Duck Pond (Table 9 and Figure 2F)	8/8 wells located (3/3 wells used for annual groundwater monitoring were located)	All wells in good condition; some are missing bolts.
Offsite (Table 10 and Figures 2A, 2D, 2E, and 2F)	11/12 wells located (11/11 wells used for annual groundwater monitoring were located) 6/6 SVMP's located	All wells in good condition some are missing bolts. PZOS-02 could not be located as construction activities near the well prevented accessing the location.

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Summary of Actions Taken or Planned Based on Inspection Results

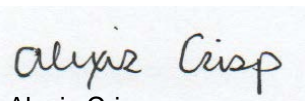
Below is a summary of the 2023 RACER PNC inspections and actions taken or planned to be taken to correct inadequacies found during the Deed Restriction Inspections, PCB Cap Inspections, and Monitoring Well/SVMP Inspections:

- Deed Restriction Inspections
 - All RACER PNC Properties were found to be in general conformance with Deed Restrictions with the exception of monitoring wells covered by current property owners. No actions except in regard to monitoring wells (see below), are warranted as a result of the inspections.
- PCB Cap Inspections
 - Tall vegetation should be cut from around the markers and stakes near markers should be re-painted orange for better visibility of the markers at USPS TSCA Cap Area 1 and Area 2. May need to be done during drier/warmer months due to ponding water observed.
 - Tall stakes at each marker at all the TSCA Cap areas are present and they should be re-painted orange for better visibility as they were observed to be weathered during inspection activities in October 2023.
- Monitoring Well and SVMP Inspections
 - An evaluation is in process to propose a new groundwater monitoring program to USEPA, which will also include a proposal to abandon many unneeded wells. After USEPA approval of a new monitoring program a monitoring well repair/location/abandonment scope of work will be submitted to USEPA for approval.

Please contact Brendan Mullen with RACER (bmullen@racertrust.org or [201-247-4890](tel:201-247-4890)), or Tiffany Linder with Arcadis at Tiffany.Linder@arcadis.com or 810-225-1928 if you have any questions regarding this inspection report.

Sincerely,

Arcadis of Michigan, LLC


Alexis Crisp
Project Geologist


Tiffany A. Linder
Certified Project Manager

Enclosures

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Figures

Figure 1	Site Layout Map
Figure 2A	Former Fiero Plant 17, Former Fiero Powerhouse, Former Fiero Parking Lot, and Offsite Well and SVMP Inventory 2023
Figure 2B	Restriction Areas and USPS Well Inventory 2023
Figure 2C	Former Building 14S (Plants 5 and 23) Restriction Areas and Well Inventory 2023
Figure 2D	Former Building 25 Well Inventory 2023
Figure 2E	Former Building 15 Well Inventory 2023
Figure 2F	Duck Pond and Offsite Well Inventory 2023

Tables

Table 1	Former Fiero Assembly, Well Inventory
Table 2	Former Fiero Parking Lots, Well Inventory
Table 3	Former Fiero Powerhouse, Well Inventory
Table 4	USPS, Well Inventory
Table 5	Former Plant 14S (Plants 5 and 23), Well Inventory
Table 6	Former Plant 25 , Well Inventory
Table 7	Former Plant 15, Well Inventory
Table 8	Rail Parcels, Well Inventory
Table 9	Duck Pond, Well Inventory
Table 10	Offsite, Well and SVMP Inventory

Attachments

Attachment 1	Figure Depicting Deed Restrictions Recorded by RACER Trust
Attachment 2	DRC and PCB Cap Areas Inspection Documentation and Photograph Logs
Attachment 3	Space Know Change Detection Analysis Report
Attachment 4	Ground Cover Types – Fiero Properties
Attachment 5	Supplemental PCB Cap Inspection Documentation

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References

RACER Properties, LLC, Environmental Easement and Use Restriction Agreement with Plant 25, LLC, 1197 – Plant 25, 240 East Columbia Avenue, Pontiac, MI; Tax Parcel ID 14-17-276-005; Dated July 15, 2011

RACER Properties, LLC, Environmental Easement and Use Restriction Agreement with Plant 15, LLC, 1197 – Plant 15, 201 Columbia Avenue, Pontiac, MI; Tax Parcel ID 14-17-426-003; Dated May 14, 2012

RACER Properties, LLC, Environmental Easement and Use Restriction Agreement with Plant Fiero, LLC (successor Baldwin Pontiac LLC), 11210 – Pontiac Fiero Assembly Plant, 900 Baldwin Avenue, Pontiac, MI; Tax IDs 14-17-453-035, 14-17-453-034, 14-20-201-001 (Part), and 14-20-201-002; Dated October 17, 2012

RACER Properties, LLC, Declaration of Restrictive Covenant RC-OWMRP-111-16-03; 200 East Montcalm Street and North Saginaw Street, Pontiac, MI 48342; Parcel Tax IDs 14-20-426-005 (E Montcalm), 14-20-257-001 and 14-20-404-001 (N Saginaw); Recorded September 21, 2016

RACER Properties, LLC, Declaration of Restrictive Covenant RC-OWMRP-111-16-010, 711 North Glenwood Avenue, Pontiac, MI 48340; Tax Parcel ID 63-64-14-21-101-007; Recorded April 23, 2018

RACER Properties, LLC, Declaration of Restrictive Covenant RC-OWMRP-111-20-001, Pontiac, MI 48340; Tax IDs 14-17-427-001, 14-17-226-004; Recorded May 12, 2020

RACER Properties, LLC, Declaration of Restrictive Covenant RC-OWMRP-111-20-002, 501 North Glenwood Avenue, Pontiac, MI 48340; Tax ID 14-20-276-001; Recorded May 12, 2020

Figures

Tables

Attachment 1

Figure Depicting Deed Restrictions Recorded by RACER Trust

Attachment 2

DRC and PCB Cap Areas Inspection Documentation and Photograph Logs

Attachment 3

Space Know Change Detection Analysis Report

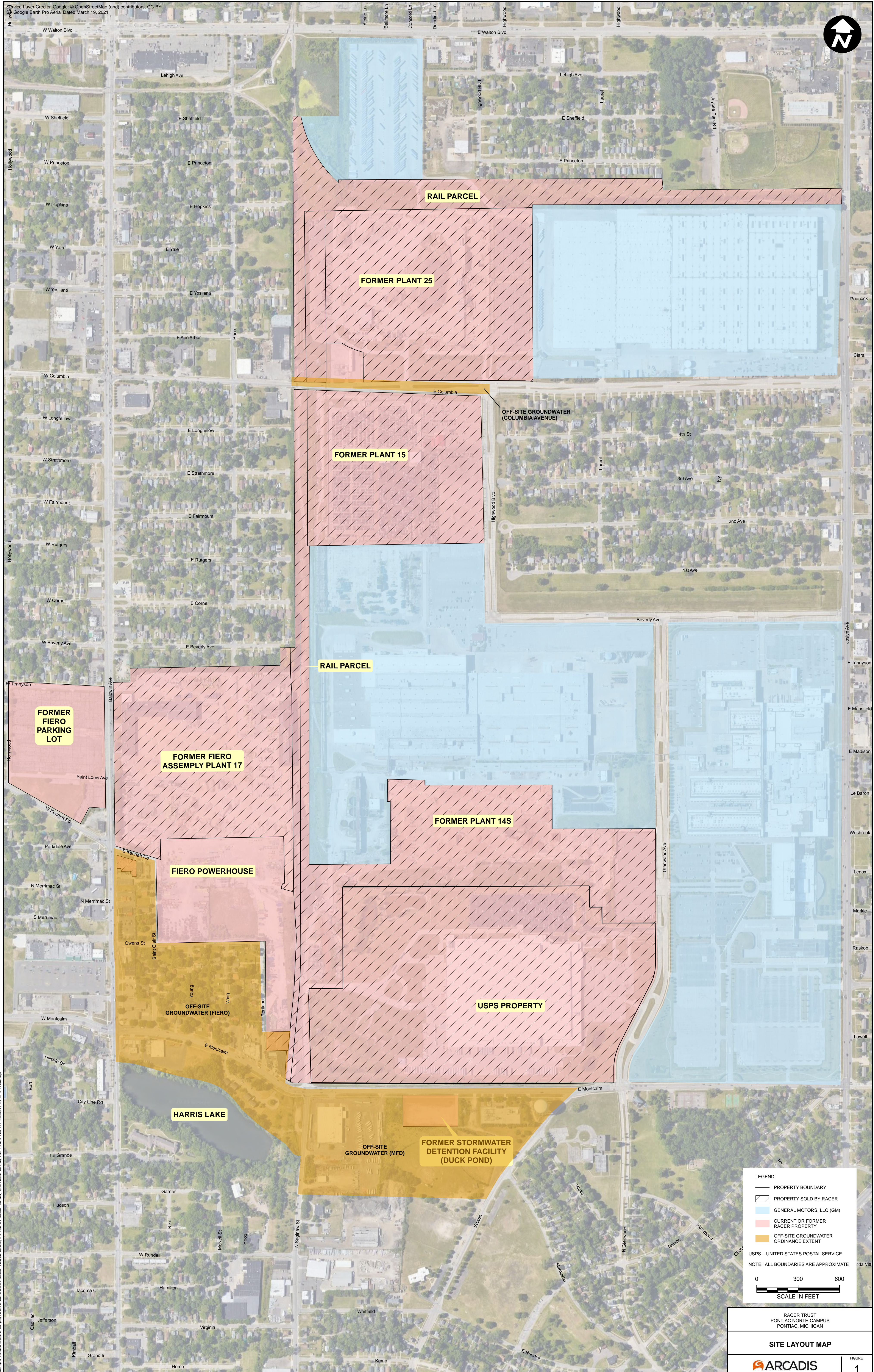
Attachment 4

Ground Cover Types – Fiero Properties

Attachment 5

Supplemental PCB Cap Inspection Documentation

Figures



LEGEND

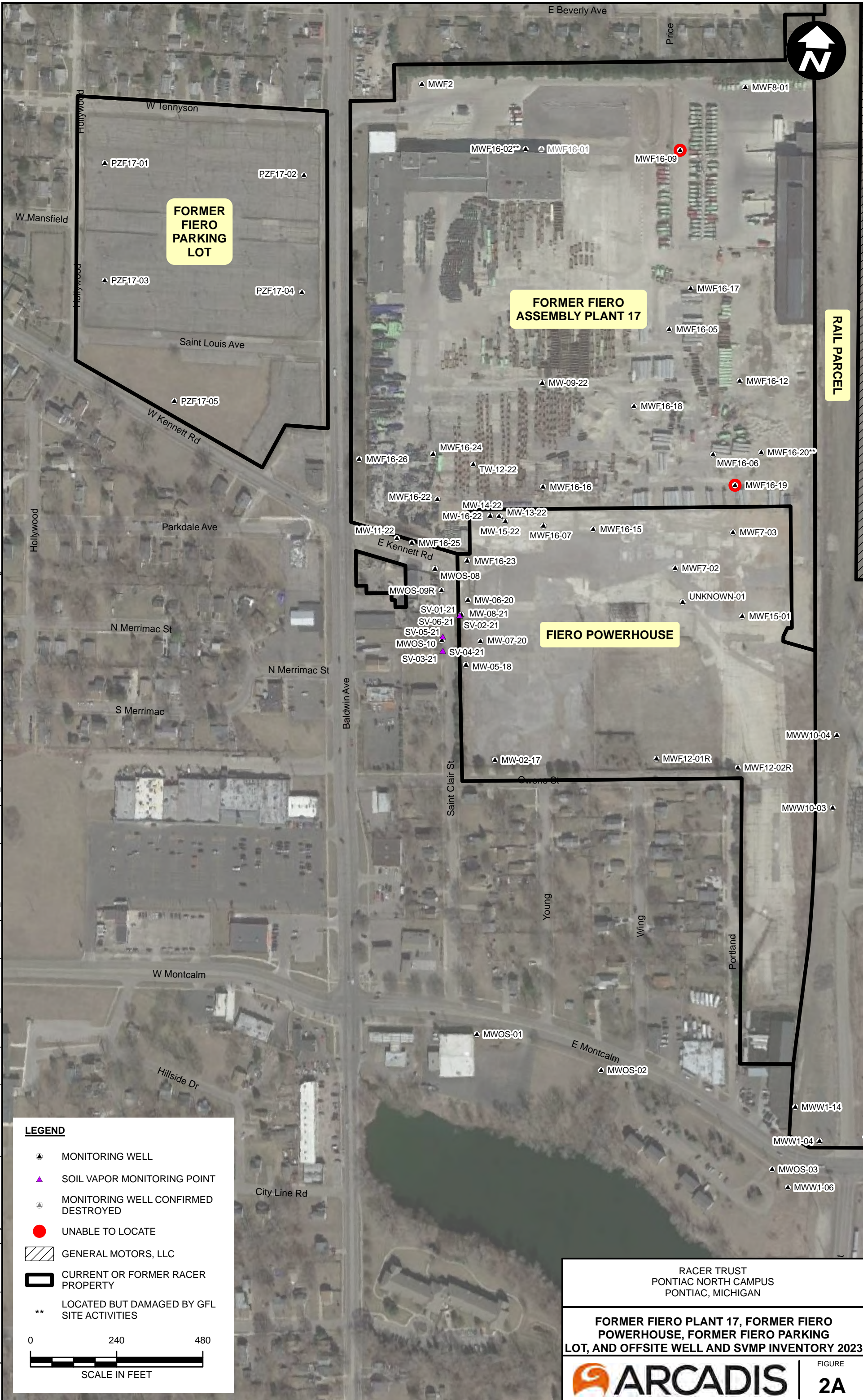
- PROPERTY BOUNDARY
- ▨ PROPERTY SOLD BY RACER
- GENERAL MOTORS, LLC (GM)
- CURRENT OR FORMER RACER PROPERTY
- OFF-SITE GROUNDWATER ORDINANCE EXTENT

USPS – UNITED STATES POSTAL SERVICE
NOTE: ALL BOUNDARIES ARE APPROXIMATE

0 300 600
SCALE IN FEET

CITY OF PONTIAC, MICHIGAN
 PROJECT NUMBER: 3019284
 PROJECT NAME: PONTIAC NORTH CAMPUS
 PROJECT LOCATION: PONTIAC, MICHIGAN
 PROJECT DATE: 11/2024
 BY: [Redacted]

CITY: NOVI, MI DIV: ENV DB: TRY PIC: PM: TR: PROJECT NUMBER: COORDINATE SYSTEM: NAD 1983 StatePlane Michigan South FIPS 2113 Feet
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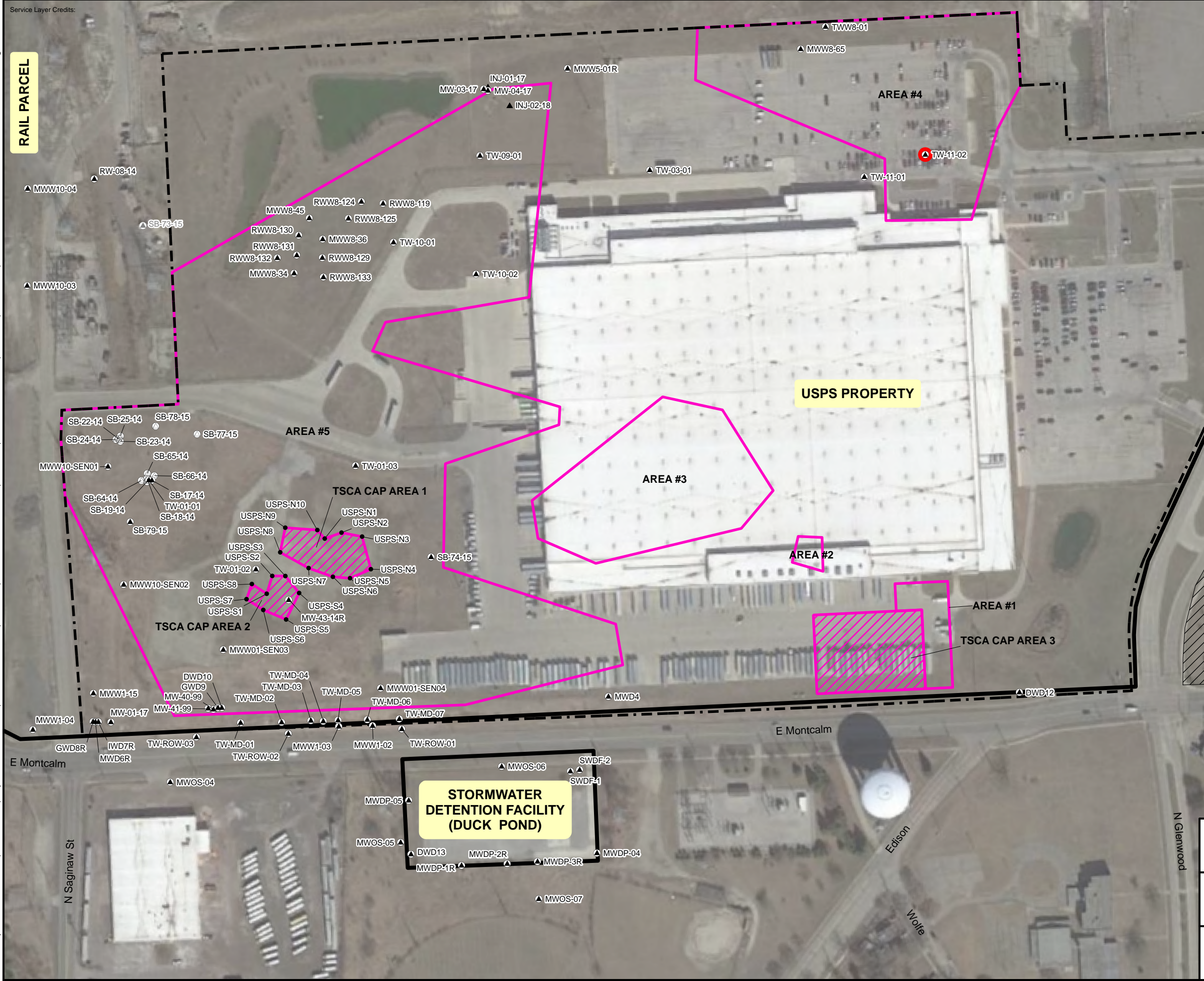
LEGEND

- ▲ MONITORING WELL
- ▲ SOIL VAPOR MONITORING POINT
- ▲ MONITORING WELL CONFIRMED DESTROYED
- UNABLE TO LOCATE
- ▨ GENERAL MOTORS, LLC
- ▭ CURRENT OR FORMER RACER PROPERTY
- ** LOCATED BUT DAMAGED BY GFL SITE ACTIVITIES



RACER TRUST
 PONTIAC NORTH CAMPUS
 PONTIAC, MICHIGAN

FORMER FIERO PLANT 17, FORMER FIERO POWERHOUSE, FORMER FIERO PARKING LOT, AND OFFSITE WELL AND SVMP INVENTORY 2023



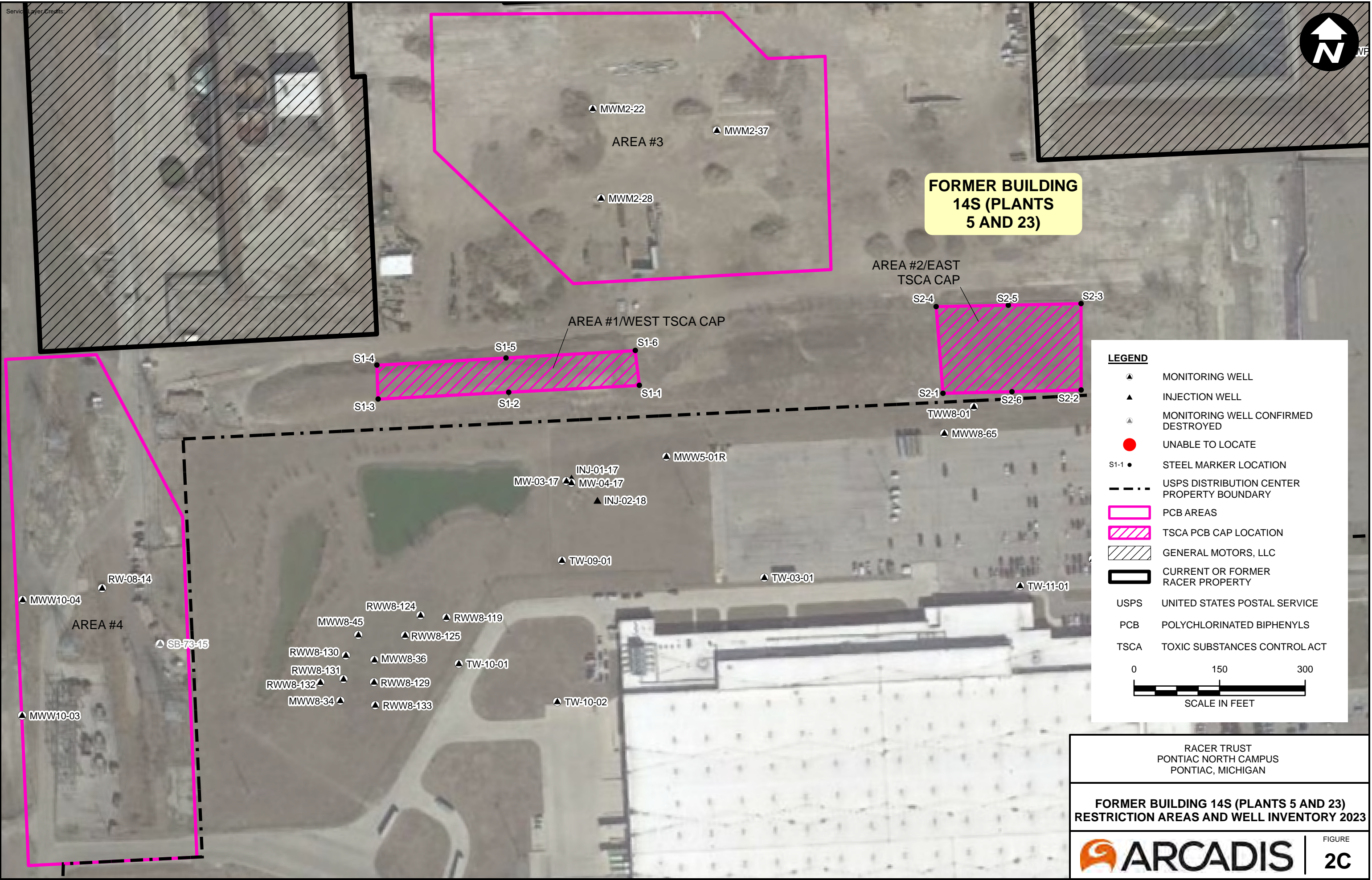
LEGEND

- ▲ MONITORING WELL
- ⊙ TEMPORARY MONITORING WELL
- ▲ INJECTION WELL
- ▲ MONITORING WELL CONFIRMED DESTROYED
- UNABLE TO LOCATE
- USPS-N1 ● STEEL MARKER LOCATION
- - - USPS DISTRIBUTION CENTER PROPERTY BOUNDARY
- ▭ PCB AREAS
- ▨ TSCA CAP LOCATION
- ▧ GENERAL MOTORS, LLC
- ▭ CURRENT OR FORMER RACER PROPERTY
- USPS UNITED STATES POSTAL SERVICE
- PCB POLYCHLORINATED BIPHENYLS
- TSCA TOXIC SUBSTANCES CONTROL ACT

0 200 400
SCALE IN FEET

RACER TRUST
 PONTIAC NORTH CAMPUS
 PONTIAC, MICHIGAN

**RESTRICTION AREAS AND
 USPS WELL INVENTORY 2023**



FORMER BUILDING 14S (PLANTS 5 AND 23)

LEGEND

- ▲ MONITORING WELL
- ▲ INJECTION WELL
- ▲ MONITORING WELL CONFIRMED DESTROYED
- UNABLE TO LOCATE
- S1-1 ● STEEL MARKER LOCATION
- - - USPS DISTRIBUTION CENTER PROPERTY BOUNDARY
- ▭ PCB AREAS
- ▨ TSCA PCB CAP LOCATION
- ▧ GENERAL MOTORS, LLC
- ▭ CURRENT OR FORMER RACER PROPERTY
- USPS UNITED STATES POSTAL SERVICE
- PCB POLYCHLORINATED BIPHENYLS
- TSCA TOXIC SUBSTANCES CONTROL ACT

0 150 300
SCALE IN FEET

RACER TRUST
 PONTIAC NORTH CAMPUS
 PONTIAC, MICHIGAN

**FORMER BUILDING 14S (PLANTS 5 AND 23)
 RESTRICTION AREAS AND WELL INVENTORY 2023**

ARCADIS | FIGURE 2C

CITY: NOVI, MI DIV: ENV DB: TRY PIC: PM: TR: PROJECT NUMBER: COORDINATE SYSTEM: NAD 1983 StatePlane Michigan South FIPS 2113 Feet
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Service Layer Credits:

CITY: NOVI, MI DIV: ENV DB: TRY PIC: PM: TR: PROJECT NUMBER: COORDINATE SYSTEM: NAD 1983 StatePlane Michigan South FIPS 2113 Feet
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RACER TRUST
PONTIAC NORTH CAMPUS
PONTIAC, MICHIGAN

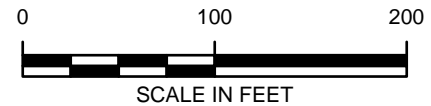
**FORMER BUILDING 15
WELL INVENTORY 2023**



**STORMWATER
DETENTION FACILITY
(DUCK POND)**

LEGEND

- ▲ MONITORING WELL
- UNABLE TO LOCATE
- ▨ GENERAL MOTORS, LLC
- ▭ CURRENT OR FORMER RACER PROPERTY



PZOS-02 ●

RACER TRUST
PONTIAC NORTH CAMPUS
PONTIAC, MICHIGAN

**DUCK POND AND OFFSITE
WELL INVENTORY 2023**

Tables

Table 1
Former Fiero Assembly, Well Inventory
2023 Property Inspection Report
RACER Trust Pontiac North Campus

RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Former Fiero Assembly	MW-09-22	MW	13410796.13	425265.44	973.46	973.83	FM	Yes	1/3 bolts wont tighten fully
Former Fiero Assembly	MW-11-22	MW	13410414.47	424812.12	976.75	977.42	FM	Yes	Good
Former Fiero Assembly	MWF16-01	MW	13410759.94	425915.31	973.22	973.66	FM	No	Confirmed destroyed by GFL construction activities
Former Fiero Assembly	MWF16-02	MW	13410715.88	425913.49	973.57	973.80	FM	Yes	Damaged from GFL construction activities
Former Fiero Assembly	MWF16-05	MW	13411141.56	425433.12	973.68	973.95	FM	Yes	Broken lid with no bolts, fill inside well casing was almost over the PVC
Former Fiero Assembly	MWF16-06	MW	13411281.82	425091.49	973.77	974.02	FM	Yes	Good
Former Fiero Assembly	MWF16-09	MW	13411145.72	425932.32	973.16	973.50	FM	No	Could not locate
Former Fiero Assembly	MWF16-12	MW	13411344.97	425300.03	973.20	973.60	FM	Yes	Missing bolts
Former Fiero Assembly	MWF16-16	MW	13410813.34	424976.85	973.22	973.50	FM	Yes	Bolts missing, some water in the well casing
Former Fiero Assembly	MWF16-17	MW	13411195.17	425549.54	973.32	973.70	FM	Yes	Bolts broken
Former Fiero Assembly	MWF16-18	MW	13411054.69	425214.02	973.22	973.60	FM	Yes	No bolts present, gravel close to covering lid
Former Fiero Assembly	MWF16-19	MW	13411347.36	425009.02	973.19	973.60	FM	No	Likely covered by construction materials
Former Fiero Assembly	MWF16-20	MW	13411415.55	425104.09	973.32	973.55	FM	Yes	Damaged from GFL construction activities
Former Fiero Assembly	MWF16-22	MW	13410521.59	424926.89	973.18	973.50	FM	Yes	Partially under roll off, bolts missing
Former Fiero Assembly	MWF16-24	MW	13410503.08	425051.99	973.38	973.64	FM	Yes	Casing slightly bent
Former Fiero Assembly	MWF16-25	MW	13410456.52	424801.98	975.24	NA	FM	Yes	Missing bolts
Former Fiero Assembly	MWF16-26	MW	13410298.11	425027.14	974.14	NA	FM	Yes	Missing bolts
Former Fiero Assembly	MWF2	MW	13410417.78	426078.46	971.74	NA	FM	Yes	Missing bolts and where bolts thread in is broken
Former Fiero Assembly	MWF8-01	MW	13411318.24	426116.58	972.94	NA	FM	Yes	Both bolt thread plates broken, fill inside well casing to the top of PVC
Former Fiero Assembly	TW-12-22	MW	13410616.22	425029.02	973.39	973.52	FM	Yes	Bolts wont thread in fully

Notes:

1. Some wells have not been surveyed yet and are pending survey data
2. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

FM - Flush mount
 MW - Monitoring Well
 NA - Not Available
 SU - Stick-up
 Temp. - Temporary
 TOC - Top of Casing

Table 2
 Former Fiero Parking Lots, Well Inventory
 2023 Property Inspection Report
 RACER Trust Pontiac North Campus



RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Former Fiero Parking Lots	PZF17-01	MW	13409547.32	425813.06	963.37	964.20	FM	Yes	Good
Former Fiero Parking Lots	PZF17-02	MW	13410103.06	425807.95	977.43	977.70	FM	Yes	Good
Former Fiero Parking Lots	PZF17-03	MW	13409564.19	425486.34	967.04	967.44	FM	Yes	Good
Former Fiero Parking Lots	PZF17-04	MW	13410114.40	425482.36	972.47	972.90	FM	Yes	Missing bolt
Former Fiero Parking Lots	PZF17-05	MW	13409775.62	425161.36	975.97	976.43	FM	Yes	Good

Notes:

1. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

- FM - Flush mount
- MW - Monitoring Well
- SU - Stick-up
- Temp. - Temporary
- TOC - Top of Casing

Table 3
 Former Fiero Powerhouse, Well Inventory
 2023 Property Inspection Report
 RACER Trust Pontiac North Campus



RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Former Fiero Powerhouse	MW-02-17	MW	13410719.39	424210.30	972.52	973.53	FM	Yes	Good
Former Fiero Powerhouse	MW-05-18	MW	13410625.04	424470.56	975.21	976.03	FM	Yes	Missing bolt
Former Fiero Powerhouse	MW-06-20	MW	13410621.14	424651.13	974.97	975.54	FM	Yes	Good
Former Fiero Powerhouse	MW-07-20	MW	13410661.92	424538.38	975.06	975.48	FM	Yes	Good
Former Fiero Powerhouse	MW-08-21	MW	13410605.29	424608.90	975.50	976.04	FM	Yes	Missing bolts
Former Fiero Powerhouse	MW-13-22	MW	13410700.01	424887.17	972.62	973.17	FM	Yes	Good
Former Fiero Powerhouse	MW-14-22	MW	13410695.30	424888.27	972.71	973.21	FM	Yes	Good
Former Fiero Powerhouse	MW-15-22	MW	13410713.86	424875.01	972.66	972.97	FM	Yes	Good
Former Fiero Powerhouse	MW-16-22	MW	13410670.78	424888.34	972.50	972.84	FM	Yes	Good, no lock, not labeled
Former Fiero Powerhouse	MWF12-01R	MW	13411168.84	424237.76	967.99	964.97	SU	Yes	Good
Former Fiero Powerhouse	MWF12-02R	MW	13411396.19	424224.49	961.91	962.38	FM	Yes	Good
Former Fiero Powerhouse	MWF15-01	MW	13411386.40	424646.22	969.35	NA	FM	Yes	No bolts present, gravel close to covering lid
Former Fiero Powerhouse	MWF16-23	MW	13410613.46	424760.10	973.39	973.82	FM	Yes	Missing bolts
Former Fiero Powerhouse	MWF7-02	MW	13411192.93	424769.96	970.58	NA	FM	Yes	Missing bolts
Former Fiero Powerhouse	MWF7-03	MW	13411348.36	424877.68	973.31	973.63	FM	Yes	Cracked and broken lid, missing bolts
Former Fiero Powerhouse	Unknown-01	MW	13411218.73	424676.91	969.16	969.51	FM	Yes	Good
Former Fiero Powerhouse	MWF16-07	MW	13410820.32	424868.51	972.65	973.36	FM	Yes	Good
Former Fiero Powerhouse	MWF16-15	MW	13410959.30	424865.97	972.71	973.30	FM	Yes	Good; one broken thread plate

Notes:

1. Some wells have not been surveyed yet and are pending survey data
2. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

- FM - Flush mount
- MW - Monitoring Well
- NA - Not Available
- SU - Stick-up
- Temp. - Temporary
- TOC - Top of Casing

Table 4
 USPS, Well Inventory
 2023 Property Inspection Report
 RACER Trust Pontiac North Campus



RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
USPS	DWD10	MW	13412072.64	423244.21	952.70	NA	SU	Yes	Casing lid is bent, PVC casing is good
USPS	DWD12	MW	13413739.98	423276.56	976.54	NA	SU	Yes	Good
USPS	GWD8R	MW	13411803.64	423215.06	950.39	947.43	SU	Yes	Good
USPS	GWD9	MW	13412064.62	423244.15	952.58	NA	SU	Yes	Good
USPS	INJ-01-17	MW	13412629.14	424542.68	965.12	965.49	FM	Yes	Missing bolts
USPS	INJ-02-18	MW	13412674.57	424503.74	966.27	966.55	FM	Yes	Missing bolts
USPS	IWD7R	MW	13411814.71	423214.82	950.51	947.46	SU	Yes	Good
USPS	MW-01-17	MW	13411840.91	423214.24	949.40	946.49	SU	Yes	Good
USPS	MW-03-17	MW	13412620.13	424537.70	964.77	965.12	FM	Yes	Missing bolts and PVC plug
USPS	MW-04-17	MW	13412628.97	424534.65	965.18	965.56	FM	Yes	bolts do not thread, missing PVC plug
USPS	MW-40-99	MW	13412055.19	423240.69	952.32	NA	SU	Yes	Good
USPS	MW-41-99	MW	13412044.25	423242.87	952.55	949.38	SU	Yes	Good
USPS	MW-43-14R	MW	13412212.48	423469.62	975.63	971.69	SU	Yes	SB-43-14 was abandoned and replaced on 1/5/2022 and renamed MW-43-14R
USPS	MWD4	MW	13412880.84	423267.59	973.56	971.37	SU	Yes	Lock hook is slightly bent and hard to open
USPS	MWD6R	MW	13411808.46	423214.47	950.49	947.51	SU	Yes	Good
USPS	MWW01-SEN03	MW	13412075.85	423365.56	981.67	978.75	SU	Yes	Good; needs to flag to mark location
USPS	MWW01-SEN04	MW	13412404.65	423285.35	971.12	968.41	SU	Yes	Outer metal casing will not close
USPS	MWW1-02	MW	13412387.90	423206.50	946.08	942.74	SU	Yes	Good
USPS	MWW1-03	MW	13412317.15	423204.96	945.92	942.41	SU	Yes	No PVC plug and lid is broken
USPS	MWW10-SEN01	MW	13411834.75	423748.57	967.31	964.41	SU	Yes	Good
USPS	MWW10-SEN02	MW	13411867.61	423501.62	967.68	965.17	SU	Yes	Good; needs to flag to mark location
USPS	MWW1-15	MW	13411804.23	423274.45	951.37	948.40	SU	Yes	Good
USPS	MWW5-01R	MW	13412794.56	424581.91	971.10	967.25	SU	Yes	MWW5-01 was abandoned and replaced on 1/4/2022 and renamed MWW5-01R, missing lock
USPS	MWW8-34	MW	13412223.81	424152.61	966.55	964.33	SU	Yes	Good
USPS	MWW8-36	MW	13412283.64	424224.02	970.56	968.01	SU	Yes	PVC is crooked
USPS	MWW8-45	MW	13412255.46	424267.90	971.15	967.87	SU	Yes	Good
USPS	MWW8-65	MW	13413282.76	424621.45	969.62	NA	FM	Yes	Missing bolts, fill inside well casing is above PVC well
USPS	RWW8-119	MW	13412409.80	424298.49	969.98	966.80	SU	Yes	Good
USPS	RWW8-124	MW	13412364.46	424302.40	968.70	965.90	SU	Yes	Good, needs new flag to mark location
USPS	RWW8-125	MW	13412337.37	424267.19	967.64	NA	SU	Yes	Good
USPS	RWW8-129	MW	13412282.88	424185.05	966.71	NA	SU	Yes	Missing Lid
USPS	RWW8-130	MW	13412233.49	424231.96	967.58	964.10	SU	Yes	Lid seal is broken and wont fit into well, lid completely off when inspected
USPS	RWW8-131	MW	13412229.41	424190.45	966.01	NA	SU	Yes	Good
USPS	RWW8-132	MW	13412188.81	424184.68	966.37	962.90	SU	Yes	Looks like it was hit, PVC is broken at the top and lid doesn't cover fully
USPS	RWW8-133	MW	13412285.07	424144.65	967.32	964.20	SU	Yes	Good
USPS	SB-17-14	MW	13411926.58	423719.71	973.10	970.24	SU	Yes	Good
USPS	SB-18-14	MW	13411916.21	423723.19	973.11	970.05	Temp	Yes	Good
USPS	SB-19-14	MW	13411916.50	423716.65	973.48	970.35	Temp	Yes	Good
USPS	SB-22-14	MW	13411856.96	423806.37	966.85	964.70	Temp	Yes	Good
USPS	SB-23-14	MW	13411860.72	423801.08	966.24	965.09	Temp	Yes	Good
USPS	SB-24-14	MW	13411851.57	423804.98	965.66	964.18	Temp	Yes	Good
USPS	SB-25-14	MW	13411860.79	423812.13	966.21	964.58	Temp	Yes	Good
USPS	SB-64-14	MW	13411904.60	423719.10	973.52	970.22	Temp	Yes	Good
USPS	SB-65-14	MW	13411916.96	423733.76	973.02	969.95	Temp	Yes	Good
USPS	SB-66-14	MW	13411931.73	423729.17	972.90	970.00	Temp	Yes	Good
USPS	SB-74-15	MW	13412510.22	423559.40	968.81	965.56	SU	Yes	Good, needs new flag to mark location
USPS	SB-77-15	MW	13412021.03	423816.20	967.52	964.05	Temp	Yes	Good, needs new flag to mark location
USPS	SB-78-15	MW	13411934.58	423832.82	968.79	965.53	Temp	Yes	Good, needs new flag to mark location
USPS	SB-79-15	MW	13411881.30	423632.75	972.23	968.88	SU	Yes	Good
USPS	TW-01-01	MW	13411920.23	423720.09	972.95	970.17	FM	Yes	Good

RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
USPS	TW-01-02	MW	13412144.00	423533.55	973.38	970.55	SU	Yes	Good, lid does not close fully
USPS	TW-01-03	MW	13412352.39	423750.32	969.06	966.14	SU	Yes	Good, hard to open lock is slightly bent
USPS	TW-03-01	MW	13412967.24	424368.37	970.20	970.48	FM	Yes	Missing bolts, water is over PVC well inside casing
USPS	TW-09-01	MW	13412612.36	424398.45	970.01	966.68	SU	Yes	Good
USPS	TW-10-01	MW	13412431.60	424217.41	971.91	969.37	SU	Yes	Good
USPS	TW-10-02	MW	13412604.15	424150.73	971.83	968.87	SU	Yes	Good
USPS	TW-11-01	MW	13413415.73	424354.07	969.28	969.75	FM	Yes	Good
USPS	TW-11-02	MW	13413543.28	424400.56	970.38	970.76	FM	No	Likely under parked vehicles
USPS	TW-MD-01	MW	13412111.97	423212.83	946.20	943.72	SU	Yes	Good
USPS	TW-MD-02	MW	13412197.72	423213.87	945.98	943.59	SU	Yes	Good
USPS	TW-MD-03	MW	13412258.98	423217.40	946.60	944.20	SU	Yes	Good
USPS	TW-MD-04	MW	13412284.86	423216.01	946.98	944.05	SU	Yes	PVC is bend from ground up
USPS	TW-MD-05	MW	13412315.75	423218.02	946.71	944.19	SU	Yes	Good
USPS	TW-MD-06	MW	13412376.85	423219.23	947.08	945.33	SU	Yes	Good
USPS	TW-MD-07	MW	13412443.74	423220.83	947.08	944.63	SU	Yes	Good
USPS	TW-ROW-01	MW	13412448.97	423199.70	942.53	942.85	FM	Yes	Could not open one bolt, grass starting to grow into lid
USPS	TW-ROW-02	MW	13412211.72	423189.98	941.92	942.19	FM	Yes	Good
USPS	TW-ROW-03	MW	13412019.63	423182.80	942.38	942.65	FM	Yes	missing entire lid, PVC is slight broke off but plug is still intact and covers top of well
USPS	TWW8-01	MW	13413334.70	424668.06	966.56	966.90	SU	Yes	Good

Notes:

1. Some wells have not been surveyed yet and are pending survey data
2. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

- FM - Flush mount
- MW - Monitoring Well
- NA - Not Available
- SU - Stick-up
- Temp. - Temporary Well no protective casing, just PVC stick-up
- TOC - Top of Casing

Table 5
 Former Plant 14S (Plants 5 and 23), Well Inventory
 2023 Property Inspection Report
 RACER Trust Pontiac North Campus

RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Former Plant 14S (Plants 5 and 23)	MWM2-22	MW	13412704.63	425191.89	967.56	967.94	SU	Yes	No lid, labeled MWM2-23 instead of 22
Former Plant 14S (Plants 5 and 23)	MWM2-28	MW	13412680.94	425033.51	967.70	967.95	SU	Yes	Good
Former Plant 14S (Plants 5 and 23)	MWM2-37	MW	13412885.01	425152.49	970.73	967.99	SU	Yes	Good condition, large wasps nest next to lock so unable to open during inspection

Notes:

1. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

- FM - Flush mount
- MW - Monitoring Well
- SU - Stick-up
- Temp. - Temporary
- TOC - Top of Casing

Table 6
Former Plant 25, Well Inventory
2023 Property Inspection Report
RACER Trust Pontiac North Campus

RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Former Plant 25	MWM16-01	MW	13411861.06	428554.63	979.90	NA	FM	No	Could not locate
Former Plant 25	MWM16-02	MW	13411685.29	428272.31	979.83	NA	FM	Yes	Missing bolts
Former Plant 25	MWM16-04	MW	13411695.73	428610.68	980.20	980.73	FM	No	Could not locate
Former Plant 25	MWM16-05	MW	13411815.73	428525.14	980.96	981.12	FM	No	Could not locate
Former Plant 25	MWM16-07	MW	13411787.02	429005.06	981.20	NA	FM	No	Could not locate
Former Plant 25	MWM16-08	MW	13411782.12	429095.96	982.05	NA	FM	No	Could not locate
Former Plant 25	MWM16-09	MW	13411758.42	429303.96	981.80	NA	FM	No	Could not locate
Former Plant 25	MWM16-10	MW	13411974.72	429283.56	985.21	NA	FM	No	Could not locate, covered by pile of broken concrete
Former Plant 25	MWM16-11	MW	13411978.42	429283.56	985.15	NA	FM	No	Could not locate, covered by pile of broken concrete
Former Plant 25	MWM16-12	MW	13411997.32	429238.36	985.19	NA	FM	No	Could not locate, covered by pile of broken concrete
Former Plant 25	MWM16-13	MW	13411997.62	429243.46	985.18	NA	FM	No	Could not locate, covered by pile of broken concrete
Former Plant 25	MWM16-14	MW	13411955.02	429242.16	985.16	NA	FM	No	Could not locate, covered by pile of broken concrete
Former Plant 25	MWM16-15	MW	13412064.72	429125.66	985.14	NA	FM	No	Could not locate, covered by pile of broken concrete
Former Plant 25	MWM16-17	MW	13411968.42	429137.16	985.11	985.46	FM	No	Could not locate, covered by pile of broken concrete
Former Plant 25	MWM16-19	MW	13411922.62	429244.06	985.21	NA	FM	No	Could not locate, covered by pile of broken concrete
Former Plant 25	MWM16-20	MW	13411681.27	429078.65	981.19	981.40	FM	No	Could not locate
Former Plant 25	MWM16-21	MW	13411683.75	428997.58	980.81	981.11	FM	No	Could not locate
Former Plant 25	MWM16-22	MW	13411690.14	428837.28	982.91	981.06	FM	No	Could not locate
Former Plant 25	MWM16-23	MW	13411888.13	428365.57	982.57	982.44	FM	Yes	Missing bolts, well casing filled with mud
Former Plant 25	MWM16-24	MW	13412174.98	429127.67	985.22	985.00	FM	Yes	Missing bolts, count not get lid opened
Former Plant 25	MWM16-25	MW	13412181.30	429126.54	985.25	985.53	FM	Yes	Missing bolts, count not get lid opened
Former Plant 25	MWM16-27	MW	13412165.53	429385.27	985.22	985.52	FM	No	Could not locate
Former Plant 25	MWM16-28	MW	13412146.23	428886.60	985.26	985.60	FM	No	Could not locate
Former Plant 25	MWM16-29	MW	13412146.20	428855.05	985.32	NA	FM	No	Could not locate
Former Plant 25	MWM16-30	MW	13411968.58	428873.78	985.37	NA	FM	Yes	Missing bolts, casing filled with water and mud
Former Plant 25	MWM16-31	MW	13411890.52	428291.66	981.08	981.62	FM	Yes	No bolts thread into cover
Former Plant 25	MWM16-32	MW	13412041.47	428367.82	983.26	983.61	FM	No	Could not locate
Former Plant 25	MWM16-34	MW	13412241.20	429164.45	985.24	985.48	FM	No	Could not locate
Former Plant 25	MWM16-38	MW	13412036.53	428302.22	982.33	982.53	FM	No	Could not locate
Former Plant 25	MWM16-39	MW	13412221.56	428371.54	983.70	984.10	FM	No	Could not locate
Former Plant 25	MWM16-45	MW	13411837.35	429057.87	984.62	985.10	FM	Yes	Missing lid, filled with dirt
Former Plant 25	MWM16-46	MW	13411943.80	429177.72	985.04	985.30	FM	No	Could not locate
Former Plant 25	MWM16-47	MW	13411998.37	429176.11	985.04	985.30	FM	No	Could not locate
Former Plant 25	MWM16-48	MW	13411923.49	429313.60	985.00	985.30	FM	No	Could not locate
Former Plant 25	MWM16-49	MW	13411861.78	429309.48	984.79	985.00	FM	No	Could not locate
Former Plant 25	MWM25-01	MW	13412350.75	428652.27	981.83	981.97	FM	No	Could not locate
Former Plant 25	MWM25-02	MW	13412118.76	428546.42	980.06	980.28	FM	No	Could not locate
Former Plant 25	MWM4-01	MW	13412002.27	429441.08	983.12	983.43	FM	No	Could not locate
Former Plant 25	MWM4-02	MW	13411924.68	429493.52	982.30	982.87	FM	No	Could not locate
Former Plant 25	MWM4-03	MW	13411841.18	429453.56	981.61	982.18	FM	No	Could not locate
Former Plant 25	MWM4-04	MW	13411932.80	429439.48	982.93	NA	FM	No	Could not locate

RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Former Plant 25	MWM4-06R	MW	13411841.82	429245.76	984.85	985.27	SU	No	Could not locate
Former Plant 25	MWM4-07	MW	13411913.42	429393.36	985.22	NA	FM	No	Could not locate
Former Plant 25	MWM5-01	MW	13412897.70	428790.96	977.85	NA	FM	Yes	Grass is growing over the well, couldn't get the lid opened
Former Plant 25	MWM5-02	MW	13413119.22	428684.05	977.07	977.33	FM	Yes	Missing bolts, no bolts thread into lid
Former Plant 25	MWM5-03	MW	13412875.52	428583.46	978.78	979.10	FM	Yes	Missing bolts
Former Plant 25	MWM5-04	MW	13412609.07	428551.30	979.55	979.91	FM	No	Could not locate

RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Former Plant 15	MWM16-36	MW	13411952.36	428181.44	981.33	981.82	FM	Yes	Improper plug (doesn't fit in PVC), missing bolts
Former Plant 15	MWM16-37	MW	13411808.27	428180.96	980.37	980.86	FM	Yes	Missing bolts
Former Plant 15	MWM16-40	MW	13412412.73	428027.13	980.48	980.74	FM	Yes	when found it was damaged, can slightly see plug but couldn't unbury it
Former Plant 15	MWM16-41	MW	13411632.49	428028.68	979.66	980.24	FM	Yes	missing lid, fill in well casing is over PVC well
Former Plant 15	MWM16-42	MW	13411637.27	427835.05	980.10	980.57	FM	No	Could not locate
Former Plant 15	MWM16-43	MW	13411634.35	428029.53	979.72	980.30	FM	No	Could not locate
Former Plant 15	MWM16-50	MW	13412110.63	427973.58	983.30	983.91	FM	No	Could not locate
Former Plant 15	MWM16-51	MW	13412172.98	427832.51	983.61	984.00	FM	No	Could not locate
Former Plant 15	MWM16-52	MW	13411954.15	427821.34	983.71	983.98	FM	Yes	Water in casing
Former Plant 15	MWM16-53	MW	13411972.35	427650.65	983.63	983.95	FM	No	Could not locate
Former Plant 15	MWM16-54	MW	13411836.05	427801.47	983.67	984.04	FM	Yes	Well damaged/not usable
Former Plant 15	MWM16-55	MW	13412388.19	427828.70	983.82	984.03	FM	No	Could not locate
Former Plant 15	MWM16-56	MW	13412214.50	427632.66	983.55	984.01	FM	No	Could not locate
Former Plant 15	MWM30-01	MW	13411861.79	427109.67	979.76	980.06	FM	Yes	Missing lid
Former Plant 15	MWM30-02	MW	13411982.18	427113.91	979.64	979.82	FM	Yes	missing lid, fill in well casing is over PVC well
Former Plant 15	MWM31-01	MW	13411951.71	427968.06	983.69	NA	FM	Yes	Water in casing
Former Plant 15	MWM31-02	MW	13411707.43	427708.18	983.51	NA	FM	Yes	Good
Former Plant 15	MWM31-03	MW	13412115.43	427419.13	983.67	NA	FM	No	Could not locate
Former Plant 15	MWM32-01	MW	13411717.40	427469.38	983.64	983.99	FM	Yes	Filled with water and no lid
Former Plant 15	MWM32-02	MW	13411765.74	427435.18	983.57	983.99	FM	No	Could not locate, buried under gravel and junk cars
Former Plant 15	MWM32-03	MW	13411733.27	427357.61	983.46	983.94	FM	Yes	Good
Former Plant 15	MWM32-04	MW	13411803.37	427360.23	983.70	983.99	FM	Yes	Good
Former Plant 15	MWM32-05	MW	13411858.54	427490.10	983.56	983.90	FM	Yes	Partially buried couldn't open
Former Plant 15	MWM32-06	MW	13411621.92	427376.29	977.23	977.44	FM	No	Could not locate
Former Plant 15	MWM32-07	MW	13411769.47	427558.04	983.71	984.02	FM	No	Could not locate
Former Plant 15	MWM32-08	MW	13411982.31	427428.71	983.69	984.01	FM	Yes	missing bolts, couldn't get lid off, but it did look filled with water
Former Plant 15	MWM32-09	MW	13411510.90	427278.24	982.10	NA	SU	Yes	Good

Notes:

1. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

- FM - Flush mount
- MW - Monitoring Well
- NA - Not Available
- SU - Stick-up
- Temp. - Temporary
- TOC - Top of Casing

Table 8
Rail Parcels, Well Inventory
2023 Property Inspection Report
RACER Trust Pontiac North Campus



RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Rail Parcels (Figure 2D)	MWM4-05	MW	13411904.72	429597.93	985.52	NA	SU	No	Could not get access to property where well is located
Rail Parcels (Figure 2B and 2C)	MWW10-03	MW	13411665.90	424126.67	958.20	955.69	SU	Yes	Good
Rail Parcels (Figure 2B and 2C)	MWW10-04	MW	13411666.89	424329.46	961.49	958.67	SU	Yes	Missing lock
Rail Parcels (Figure 2A and 2B)	MWW1-04	MW	13411677.80	423198.31	944.20	944.39	SU	Yes	Good
Rail Parcels (Figure 2A)	MWW1-14	MW	13411605.60	423289.56	946.10	946.75	FM	Yes	Missing bolt
Rail Parcels (Figure 2B)	RW-08-14	MW	13411806.22	424349.85	965.97	963.74	FM	Yes	Good - located in site storage shed
Rail Parcels (Figure 2C)	SB-73-15	MW	13411908.00	424252.19	967.41	964.18	Temp	No	Could not locate

Notes:

1. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

- FM - Flush mount
- MW - Monitoring Well
- NA - Not Available
- SU - Stick-up
- Temp. - Temporary
- TOC - Top of Casing

Table 9
 Duck Pond, Well Inventory
 2023 Property Inspection Report
 RACER Trust Pontiac North Campus



RACER Property	ID	Well Type	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Duck Pond	DWD13	MW	13412468.27	422937.97	945.28	NA	FM	Yes	Missing bolts, fill in well casing it up to top of PVC
Duck Pond	MWDP-04	MW	13412857.00	422940.40	949.06	949.41	FM	Yes	Bolts broken in threading
Duck Pond	MWDP-05	MW	13412463.42	423050.42	944.35	945.19	FM	Yes	Good
Duck Pond	MWDP-1R	MW	13412573.84	422914.43	946.94	947.37	FM	Yes	Good
Duck Pond	MWDP-2R	MW	13412669.31	422918.07	947.90	948.62	FM	Yes	Missing bolts
Duck Pond	MWDP-3R	MW	13412732.60	422922.66	948.13	948.59	FM	Yes	Missing bolts
Duck Pond	SWDF-1	MW	13412801.37	423111.27	947.97	948.16	FM	Yes	Good
Duck Pond	SWDF-2	MW	13412820.67	423114.44	948.38	948.60	FM	Yes	Good

Notes:

1. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

- FM - Flush mount
- MW - Monitoring Well
- NA - Not Available
- SU - Stick-up
- Temp. - Temporary
- TOC - Top of Casing

Table 10
 Offsite, Well and SVMP Inventory
 2023 Property Inspection Report
 RACER Trust Pontiac North Campus

RACER Property	ID	Well/SVMP	Latitude	Longitude	TOC Elevation	Ground Elevation	Type (FM, SU, Temp)	Located?	Notes
Offsite (Figure 2A)	MWOS-01	MW	13410709.13	423445.11	943.79	943.99	FM	Yes	Bolts to not thread into lid
Offsite (Figure 2A)	MWOS-02	MW	13411060.17	423363.17	943.46	943.99	FM	Yes	Brush on edge of side walk is overgrown and partially covering well
Offsite (Figure 2A)	MWOS-03	MW	13411550.19	423112.96	944.35	944.68	FM	Yes	Grass is growing over the well, bolts do not thread
Offsite (Figure 2F)	MWOS-04	MW	13411964.95	423088.69	942.52	942.74	FM	Yes	Missing bolts, well casing is filling in with dirt, plants pushing up lid
Offsite (Figure 2F)	MWOS-05	MW	13412446.57	422962.58	944.26	944.74	FM	Yes	Good
Offsite (Figure 2F)	MWOS-06	MW	13412657.70	423121.39	944.01	944.40	FM	Yes	Bolts to not thread into lid
Offsite (Figure 2F)	MWOS-07	MW	13412735.30	422844.42	947.53	947.75	FM	Yes	Will need a brush cut next year, missing bolts, needs flag to locate well
Offsite (Figure 2A)	MWOS-08	MW	13410525.07	424732.93	975.09	975.55	FM	Yes	Missing bolts
Offsite (Figure 2A)	MWOS-09R	MW	13410546.29	424674.06	976.18	976.68	FM	Yes	Water in the well casing but does not reach top of PVC
Offsite (Figure 2A)	MWOS-10	MW	13410554.59	424535.43	976.55	977.01	FM	Yes	Good
Offsite (Figure 2A)	MWW1-06	MW	13411596.61	423064.86	943.63	943.75	FM	Yes	Bolts to not thread into lid
Offsite (Figure 2F)	PZOS-02	MW	13413018.76	422364.67	946.38	947.04	FM	No	Construction at location of well, could be buried under materials or equipment
Offsite (Figure 2A)	SV-01-21	SVMP	13410600.85	424607.87	N/A	976.45	FM	Yes	Good
Offsite (Figure 2A)	SV-02-21	SVMP	13410600.68	424606.55	N/A	976.50	FM	Yes	Good
Offsite (Figure 2A)	SV-03-21	SVMP	13410558.77	424505.59	N/A	980.78	FM	Yes	Good
Offsite (Figure 2A)	SV-04-21	SVMP	13410558.70	424507.07	N/A	976.76	FM	Yes	Good
Offsite (Figure 2A)	SV-05-21	SVMP	13410556.60	424545.53	N/A	977.21	FM	Yes	Good
Offsite (Figure 2A)	SV-06-21	SVMP	13410556.51	424546.40	N/A	977.22	FM	Yes	Good

Notes:

1. Top of Casing Elevation is in feet National Vertical Geodetic Datum (1988)

Abbreviations:

- FM - Flush mount
- MW - Monitoring Well
- NA - Not Available
- N/A - Not Applicable
- SU - Stick-up
- SVMP - Soil Vapor Monitoring Point
- Temp. - Temporary
- TOC - Top of Casing

Attachment 1

Figure Depicting Deed Restrictions Recorded by RACER Trust

**Deed Restrictions Recorded by RACER Trust
Pontiac North Campus RCRA Corrective Action,
Pontiac, MI / March 4, 2024**

- Current Parcel Boundary as of March 2024
 - Transferred to RACER Trust in March 2011
 - 2012 EE&URA: Liber 43214 - Page 201
 - 2012 EE&URA: Liber 44228 - Page 275
 - 2012 EE&URA: Liber 45051 - Page 591
 - 2015 DRC: Liber 48367 - Page 520
 - 2015 DRC: Liber 48729 - Page 551
 - 2016 DRC: Liber 49847 - Page 559
 - 2020 DRC: Liber 54194 - Page 568
 - 2020 DRC: Liber 54194 - Page 602
 - 2021 DRC: Liber 57311 - Page 741
- EE&URA: Environmental Easement & Use Restriction Agreement
DRC: Declaration of Restrictive Covenant

14-17-276-004
RC-OWMRP-111-20-001

14-17-227-001
RC-OWMRP-111-20-001

14-17-276-005

E Columbia Ave

14-17-276-006

14-17-427-001
RC-OWMRP-111-20-001

14-17-426-003

Baldwin Ave

Joslyn Ave

14-17-384-003

14-17-453-037

14-17-453-036

14-20-201-006

14-20-130-018

Former IDs
14-20-202-002
14-20-202-003
14-20-202-005
14-20-202-007
RC-OWMRP-111-15-011

14-20-201-004

Former ID 14-20-276-001
RC-OWMRP-111-20-002

14-21-101-007
RC-OWMRP-111-21-006

Glenwood Ave

A

D

E

F

C

B

14-20-201-005
RC-OWMRP-111-15-004

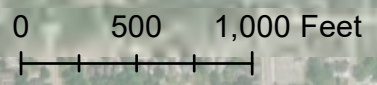
E Montcalm St

14-20-426-005
RC-OWMRP-111-16-003

City of Pontiac
County of Oakland
State of Michigan

New tax parcel numbers that have changed since 2022 are listed below and correlate to new boundaries and in-map letters with YELLOW font:

- A: 14-20-202-028
- B: 14-20-276-004
- C: 14-20-276-003
- D: 14-17-427-002
- E: 14-20-276-002
- F: 14-21-101-008



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ATTORNEYS AT LAW

KENNETH L. RANCILIO
1939 - 1998
PAUL J. O'REILLY
1940 - 2003

OF COUNSEL
JAMES C. THOMAS
GARY J. COLLINS

August 4, 2023

Via First Class Mail
Michigan Cleanup Manager
RACER Trust 1505 Woodward Ave., Suite 200
Detroit, MI 48226

DIRECT DIAL: (586) 997-6460
E-MAIL: jsarconi@orlaw.com

Director
Land, Chemicals, and Redevelopment Division (L-17J)
U.S. Environmental Protection Agency, Region 5
77 West Jackson Blvd.
Chicago, IL 60604

Hazardous Waste Section Director
Materials Management Division
Michigan Department of Environmental, Great Lakes and Energy
P.O. Box 30473
Lansing, MI 48909-7973

Re: Notice of Sale MID Number: MID 005 356 886 and EGLE
Reference Number: RC-OWMRP-111-20-002

To Whom It May Concern:

This notice is being made pursuant to the requirements of the First Amended Restrictive Covenant recorded at Liber 54194, Page 568 of the Oakland County Records. O'Reilly Rancilio P.C. represents Tatro Michigan Land Holdings, LLC ("Tatro") which is the owner of certain property that is subject to the aforementioned Restrictive Covenant.

On or about June 12, 2020, Tatro purchased approximately 51.366 acres of property from Proastio Properties LLC, which property was then commonly known as 501 North Glenwood Avenue and Vacant Pontiac [Pin Numbers: 14-20-276-001 and 14-17-427-001] (**See Exhibit A**). Since that time, Tatro has applied for property splits with the City of Pontiac to split/combine the parent parcels into Parcels A through G. Parcel B was assigned Pin Number 14-20-276-002, Parcel D was assigned Pin Number 14-20-276-003, Parcel E was assigned Pin Number 14-20-276-004

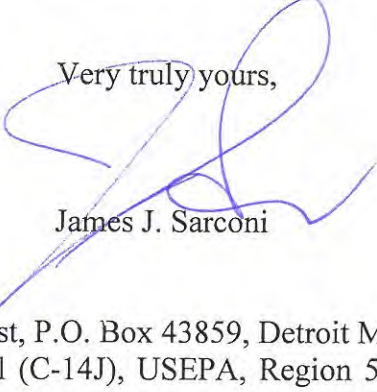
At this time, Tatro intends on selling Parcel B to an entity called DEEBARRY LLC pursuant to a Land Contract, Parcel D to an entity called LAFUERTE LLC, and Parcel E to Jiminez Investments Inc. Jiminez is the existing owner of the property

RACER Trust
August 4, 2023
Page 2

immediately west/adjacent to Parcel E (namely 824 St. Clair Street and 121 E. Montcalm St, Parcel ID Nos. 14-20-201-005 and 14-20-255-001).

Each of the purchasers have been provided with the title work applicable to the parcels; the restrictive covenants; and an opportunity to perform environmental due diligence. The proposed transactions include Deeds containing the following language: "NOTICE; THE INTEREST CONVEYED HEREBY IS SUBJECT TO A FIRST AMENDED AND RESTATED DECLARATION OF RESTRICTIVE COVENANT DATED APRIL 23, 2020, AND RECORDED WITH THE OAKLAND COUNTY REGISTER OF DEEDS, LIBER 54194, PAGE 568."

Very truly yours,



James J. Sarconi

JJS/taw

Cc: General Counsel, Racer Trust, P.O. Box 43859, Detroit MI 48243

Office of Regional Counsel (C-14J), USEPA, Region 5, 77 West Jackson Blvd.,
Chicago, IL 60604

EXHIBIT A

EXHIBIT A

OAKLAND COUNTY TREASURERS CERTIFICATE
This is to certify that there are no delinquent property taxes as of this date owed to our office on this property. No representation is made as to the status of any taxes, tax liens or titles owed to any other entities.

JUN 22 2020 *RTN*

ANDREW E. MEISNER, County Treasurer
Sec. 135, Act 206, 1893 as amended

5.00

120489
LIBER 54389 PAGE 894
\$26.00 DEED - COMBINED
\$4.00 REMONUMENTATION
06/23/2020 12:38:53 P.M. RECEIPT# 91660
PAID RECORDED - OAKLAND COUNTY
LISA BROWN, CLERK/REGISTER OF DEEDS

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS: PROASTIO PROPERTIES LLC, a Michigan limited liability company (the "**Grantor**"), whose address is 850 Stephenson Highway, Suite 308, Troy Michigan 48083, **conveys and warrants to: TATRO MICHIGAN LAND HOLDINGS, LLC** (the "**Grantee**"), whose address is 12900 Hall Road, Suite 350, Sterling Heights, Michigan 48313; the following described premises situated in the City of Pontiac, County of Oakland, and State of Michigan, to-wit (the "Property")

See Exhibit A

- Parcel ID Number: 14-20-276-001
Commonly known as: 501 North Glenwood Avenue, Pontiac MI 48340
- Parcel ID Number: 14-17-427-001
Commonly known as: Vacant
- Parcel ID Number: 14-17-276-004
Commonly known as: Vacant
- Parcel ID Number: 14-17-227-001
Commonly known as: Vacant E Hopkins

RECEIVED
OAKLAND COUNTY
REGISTER OF DEEDS
2020 JUN 17 PM 2:17

Together with (a) strips and gores between such tract(s) of land and any abutting properties whether owned or claimed by deed, limitations or otherwise, and whether or not held under fence by Grantor, (b) any land lying in or under the bed of any creek, stream or waterway or any highway, avenue street, road, alley, easement or right-of-way, open or proposed, in, on, across, abutting or adjacent to such tract(s) of land, (c) improvements, buildings or fixtures located on such tract(s) of land, (d) ties, rails and other property constituting railroad siding; and (e) mineral, water, oil, gas, solar and wind rights relating to all or any part of such tract(s) of land, together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, for the sum of [see real estate transfer tax valuation affidavit].

*60P
1009982
emw*

Subject to all easements, restrictions and encumbrances of record, if any, affecting any part of the Property, including but not limited to the terms of that certain **FIRST AMENDED AND RESTATED DECLARATION OF RESTRICTIVE COVENANT DATED APRIL 23, 2020, AND RECORDED WITH THE OAKLAND COUNTY REGISTER OF DEEDS, LIBER 54194, PAGE 568 and LIBER 54194, PAGE 602**, which such recorded instruments shall survive and not merge

OK-AB

5-1009982 PAC FATLO

EXHIBIT A

All those tracts or parcels of land lying and being in the City of Pontiac, Oakland County, State of Michigan, and being more particularly described on as follows

Town 3 North, Range 10 East, Section 17, 20 & 21, Part of Southeast 1/4 of Section 17, Part of Northeast 1/4 Section 20 and Part of Northwest 1/4 Section 21, Beginning at point distant South 03 degrees 00 minutes 15 seconds East 40 01 feet and North 85 degrees 54 minutes 01 seconds East 20 91 feet and South 03 degrees 13 minutes 40 seconds East 1648 12 feet and North 87 degrees 01 minutes 32 seconds East 1235 81 feet and South 02 degrees 52 minutes 02 seconds East 715 61 feet and South 00 degree 23 minutes 00 seconds West 108 93 feet and South 00 degrees 23 minutes 00 seconds West 117 88 feet and South 02 degrees 52 minutes 02 seconds East 48 47 feet and South 04 degrees 44 minutes 21 seconds East 67 91 feet and South 04 degrees 44 minutes 21 seconds East 325 78 feet and South 02 degrees 52 minutes 02 seconds East 91 19 feet from East 1/4 corner of said Section 17, said corner also being the West 1/4 corner of Section 16 of said Town and Range, thence South 02 degree 52 minutes 02 seconds East 685 03 feet, thence South 87 degrees 17 minutes 10 seconds West 390 67 feet, thence North 02 degrees 42 minutes 50 seconds West 116 97 feet, thence South 87 degrees 17 minutes 10 seconds West 91 20 feet, thence North 02 degrees 42 minutes 50 seconds West 153 03 feet, thence South 87 degrees 17 minutes 10 seconds West 1788 80 feet, thence South 02 degrees 42 minutes 50 seconds East 741 12 feet, thence South 87 degrees 17 minutes 10 seconds West 244 44 feet, thence South 01 degrees 01 minutes 47 seconds West 66 80 feet, thence South 04 degrees 22 minutes 09 seconds East 614 15 feet, thence South 87 degree 40 minutes 44 seconds West 150 61 feet, thence North 03 degrees 05 minutes 31 seconds East 552 36 feet, thence along curve to left, radius 3844 83 feet, chord bears North 00 degrees 08 minutes 59 seconds East 405 25 feet, distant of 405 43 feet, thence North 02 degrees 47 minutes 39 seconds West 416 45 feet, thence North 02 degrees 44 minutes 27 seconds West 1351 72 feet, thence North 02 degrees 42 minutes 20 seconds West 629 41 feet, thence North 86 degrees 43 minutes 49 seconds East 66 67 feet, thence South 02 degrees 41 minutes 14 seconds East 1337 29 feet, thence South 02 degrees 05 minutes 33 seconds East 436 49 feet, thence North 86 degrees 42 minutes 58 seconds East 591 95 feet, thence North 02 degrees 49 minutes 13 seconds West 452 01 feet, thence South 87 degrees 01 minutes 12 seconds West 20 79 feet, thence North 02 degrees 37 minutes 33 seconds West 160 15 feet, thence North 88 degrees 25 minutes 59 seconds East 270 16 feet, thence South 02 degrees 54 minutes 19 seconds East 37 11 feet, thence North 87 degrees 12 minutes 55 seconds East 923 59 feet, thence South 02 degrees 47 minutes 05 seconds East 320 58 feet, thence North 87 degree 12 minutes 55 seconds East 749 45 feet to the point of beginning

Tax Parcel ID Number: 14-20-276-001

And also

Part of the Southeast 1/4 of Section 17, also part Northeast 1/4 of Section 20, Township 3 North, Range 10 East, and part of the Northeast 1/4 of Section 20, Township 3 North, Range 10 East, City of Pontiac, Oakland County, Michigan and being more particularly described as follows:

Commencing at the East ¼ corner of Section 17, Township 3 North, Range 10 East, City of Pontiac, Oakland County, Michigan and running thence South 86 degrees 57 minutes 26 seconds West, along the East-West ¼ line of said Section 17, said line being also the center of Columbia Avenue (120 feet wide at this point), a distance of 1,201.95 feet to a point; thence South 05 degrees 52 minutes 04 seconds East, a distance of 60.07 feet to a point on the South line of said Columbia Avenue, said point being the point of beginning of the parcel of land herein being described,

Proceeding thence from said point of beginning South 05 degrees 52 minutes 04 seconds East, a distance of 1,640.59 feet to a point; thence South 84 degrees 07 minutes 56 seconds West a distance of 100.00 feet to a point on the East line of the Grand Trunk Western Railroad right-of-way (50 feet wide); thence the following the courses and distances along the East line of said railroad right-of-way, South 05 degrees 52 minutes 04 seconds East, a distance of 1,980.76 feet; thence South 05 degrees 50 minutes 04 seconds East, a distance of 397.11 feet to a point of curve; thence along the arc of a curve, concave to the West radius 4,646.71 feet, an arc distance of 469.66 feet (chord bears South 02 degrees 56 minutes 20 seconds East, 469.46 feet) to a point of tangent; thence South 00 degrees 02 minutes 36 seconds East, along said railroad right-of-way line, a distance of 508.00 feet to the point of intersection of said right-of-way line with the North line of Montcalm Street (width varies); thence North 60 degrees 11 minutes 46 seconds West across said railroad right-of-way, a distance of 57.64 feet to the point of intersection of the West line of said railroad right-of-way with the North line of said Montcalm Street; thence the following courses and distances along the West line of said Grand Trunk Western Railroad right-of-way: North 00 degrees 02 minutes 36 seconds West, said line being also part of the East line of Civic Improvement Company's Marquette Subdivision, as recorded in Liber 22, Page 15 of Plats, Oakland County Records, a distance of 479.91 feet to a point of curve in said right-of-way line; thence continuing along said right-of-way line, said line being also part of the East line of said Civic Improvement Company's Marquette Subdivision, along the arc of a curve concave to the West, radius 4,596.71 feet, an arc distance of 464.61 feet (chord bears North 02 degrees 56 minutes 20 seconds West, 464.41 feet) to a point of tangent; thence North 05 degrees 50 minutes 04 seconds West, along the West line of said right-of-way, said line being also part of the East line of said Civic Improvement Company's Marquette Subdivision, a distance of 397.09 feet to a point; thence South 79 degrees 39 minutes 34 seconds East, along the Easterly extension of the Northerly line of vacant Kennett Road, a distance of 1.04 feet to a point; thence North 05 degrees 52 minutes 04 seconds West, along a line 1.00 foot East of, as measured at right angles to and parallel with the original West line of said Grand Trunk Western Railroad right-of-way, a distance of 1,457.52 feet to a point; thence South 84 degrees 12 minutes 24 seconds West, along the Easterly extension of the South line of vacated Tennyson Avenue (60 feet wide), a distance of 1.00 foot to a point; thence North 05 degrees 52 minutes 04 seconds West, along the West line of the Grand Trunk Western Railroad right-of-way (50 feet wide at this point), said line being also part of the East line of Baldwin Park Subdivision, as recorded in Liber 21, Page 7 of Plats, Oakland County Records, a distance of 2,171.51 feet to the point of intersection of said railroad right-of-way line with the South line of Columbia Avenue (proposed 120 feet wide); thence North 86 degrees 57 minutes 26 seconds East, along a line 60.00 feet South of, as measured at right angles to and parallel with the East-West ¼ line of Section 17, Township 3 North, Range 10 East, across said railroad right-of-way, a distance of 150.18 feet to the point of beginning.

Tax Parcel ID: 14-17-427-001

And also,

That part of Lots 1, 2 & 3 lying south of Grand Trunk Western Railroad right-of-way, also that part of vacated Hopkins Avenue adjacent to Lots 1 & 2 of Glenwood Estates Subdivision, City of Pontiac, Oakland County, Michigan, as recorded in Liber 22 of Plats, on Page 8, and more particularly described as follows:

A part of the Northeast $\frac{1}{4}$ of Section 17, Township 3 North, Range 10 East, City of Pontiac, County of Oakland, State of Michigan, commencing at East $\frac{1}{4}$ corner of said Section 17 and running thence South 86 degrees 57 minutes 26 seconds West along the East-West $\frac{1}{4}$ line of said Section, said line also being the centerline of Columbia Avenue (120 feet wide at this point), a distance of 1,302.07 feet to a point; thence North 05 degrees 52 minutes 04 seconds West along the Southerly extension of the East line of the Grand Trunk Western Railroad right-of-way (50 feet wide) a distance of 60.07 feet to the point of intersection of said right-of-way line with the North line of said Columbia Avenue; thence North 05 degrees 52 minutes 04 seconds West along said right-of-way line a distance of 1226.29 feet to the Point of Beginning of the parcel of land herein being described; thence North 84 degrees 24 minutes 59 seconds East a distance of 400.02 feet to a point; thence North 05 degrees 29 minutes 59 seconds West along part of the West line of vacated Cambridge Avenue at its Southerly extension, a distance of 80.45 feet to a point; thence along the arc of a curve, concave to the Northeast, radius 726.04 feet, an arc distance of 348.42 feet, (chord bears North 60 degrees 44 minutes 01 seconds West, 345.09 feet) to a point of tangent; thence North 46 degrees 59 minutes 09 seconds West, along the Southerly line of a Grand Trunk Western Railroad right-of-way, a distance of 184.14 feet to a point; thence South 05 degrees 52 minutes 04 seconds East, along the East right-of-way line of said Grand Trunk Western Railroad, a distance of 415.28 feet to the Point of Beginning.

Tax Parcel ID Number: 14-17-227-001

And also,

A tract of land situated in the City of Pontiac, County of Oakland, State of Michigan, and more particularly described as follows:

Part of the Northwest $\frac{1}{4}$ of Section 16, also part of the Northeast $\frac{1}{4}$ of Section 17, Town 3 North, Range 10 East, and Part of Lots 1 through 5 inclusive, all of Lots 336 through 371 inclusive, and Lots 304 through 309 inclusive, including adjoining vacated streets and alleys of Glenwood Estates Subdivision, as recorded in Liber 22, Page 8 of Plats, Oakland County Records, and being more particularly described as follows:

Commencing at the East $\frac{1}{4}$ corner of Section 17, Town 3 North, Range 10 East, City of Pontiac, Oakland County, Michigan and running thence South 86 degrees 57 minutes 26 seconds West along the East-West $\frac{1}{4}$ line of said Section 17, said line being also the center line of Columbia Avenue (120 feet wide at this point), a distance of 1302.07 feet to a point; thence North 05 degrees 52 minutes 04 seconds West along the Southerly extension of the East line of the Grand Trunk Western Railroad Right-of-way (50 feet wide) a distance of 60.07 feet to the point of intersection of said right-of-way line with the North line of said Columbia Avenue said point being the point of beginning of the parcel of land herein being described; proceeding thence from said point of beginning South 86 degrees 57 minutes 26 seconds West, across said railroad right-of-way, said line being 60.00 feet North of, as measured at right

angles to and parallel with the East-West 1/4 line of said Section 17, a distance of 50.06 feet to the point of intersection of the West line of said railroad right-of-way with the proposed North line of said Columbia Avenue; thence North 05 degrees 52 minutes 04 seconds West, along the West line of said railroad right-of-way, said line being also part of the East line of the plat of Dupont Heights Subdivision, as recorded in Liber 21, Page 22 of Plats, Oakland County Records, a distance of 1849.82 feet to a point; thence North 84 degrees 15 minutes 51 seconds East across said railroad right-of-way a distance of 71.51 feet to a point; thence along the Grand Trunk Western Railroad right-of-way line as described in Liber 3028 of Deeds, on Page 523, Oakland County Records, Southeasterly along the arc of a curve concave to the Northeast, radius 653.31 feet, an arc distance of 344.35 feet, (chord bears South 31 degrees 53 minutes 09 seconds East, 340.38 feet) to a point of compound curve; thence continuing along said right-of-way line, Southeasterly along the arc of a curve, not tangent to the foregoing line, concave to the Northeast, radius 660.04 feet, a measured arc distance of 291.18 feet (described 287.99 feet), (chord bears South 59 degrees 37 minutes 37 seconds East, measured 288.82 feet, described 285.89 feet) to a point; thence North 05 degrees 29 minutes 59 seconds West, along said railroad right-of-way line, said line being also part of the West line of vacated Cambridge Avenue (60 feet wide) a distance of 31.75 feet to a point; thence North 84 degrees 15 minutes 51 seconds East, along the North line of said Grand Trunk Western Railroad right-of-way, said line being also the South end of a vacated portion of said Cambridge Avenue, the South line of Lots 288 through 300 inclusive, across a vacated alley (18 feet wide), the South line of Lot 303, and across the West 1/2 of a vacated portion of Highwood Avenue, of said subdivision, a distance of 910.00 feet to a point on the center line of said vacated Highwood Avenue; thence North 84 degrees 16 minutes 53 seconds East, along the North line of said railroad right-of-way, said line crossing the East 1/2 of a vacated portion of Highwood Avenue, the South line of Lot 310, the South end of a public alley (18 feet wide), the South line of Lots 313 through 325 inclusive, the South end of Laurel Avenue (60 feet wide) and the South line of Lots 326 through 335 inclusive, a distance of 1329.41 feet to the Southeast corner of said Lot 335; thence South 05 degrees 59 minutes 06 seconds East, along the East line of said Glenwood Estates Subdivision, a distance of 89.00 feet to a point; thence North 83 degrees 53 minutes 42 seconds East a distance of 1275.22 feet to the point of intersection of said right-of-way line with the West line of Joslyn Road (120 feet wide); thence South 05 degrees 08 minutes 18 seconds East, said line being 60.00 feet West of, as measured at right angles to and parallel with the North-South 1/4 line of Section 16, Town 3 North, Range 10 East, across said railroad right-of-way, a distance of 100.01 feet to the point of intersection of the South line of said right-of-way with the West line of said Joslyn Road; thence South 83 degrees 53 minutes 42 seconds West, along the South line of said railroad right-of-way, a distance of 1273.75 feet to an angle point in said right-of-way line; thence South 84 degrees 24 minutes 59 seconds West, continuing along said railroad right-of-way line, a distance of 2240.98 feet to a jog in said railroad right-of-way; thence North 05 degrees 29 minutes 59 seconds West, along said jog, said line being also part of the West line of said vacated Cambridge Avenue and its Southerly extension, a distance of 80.45 feet to a point; thence along the arc of a curve, concave to the Northeast, radius 726.04 feet, an arc distance of 348.42 feet (chord bears North 60 degrees 44 minutes 01 seconds West, 345.09 feet) to a point of tangent; thence North 46 degrees 59 minutes 09 seconds West, along the Southerly line of the Grand Trunk Western Railroad right-of-way, a distance of 184.14 feet to a point; thence South 05 degrees 52 minutes 04 seconds East, along the East line of said railroad right-of-way, a distance of 1641.57 feet to the point of beginning.

Tax Parcel ID: 14-17-276-004

Attachment 2

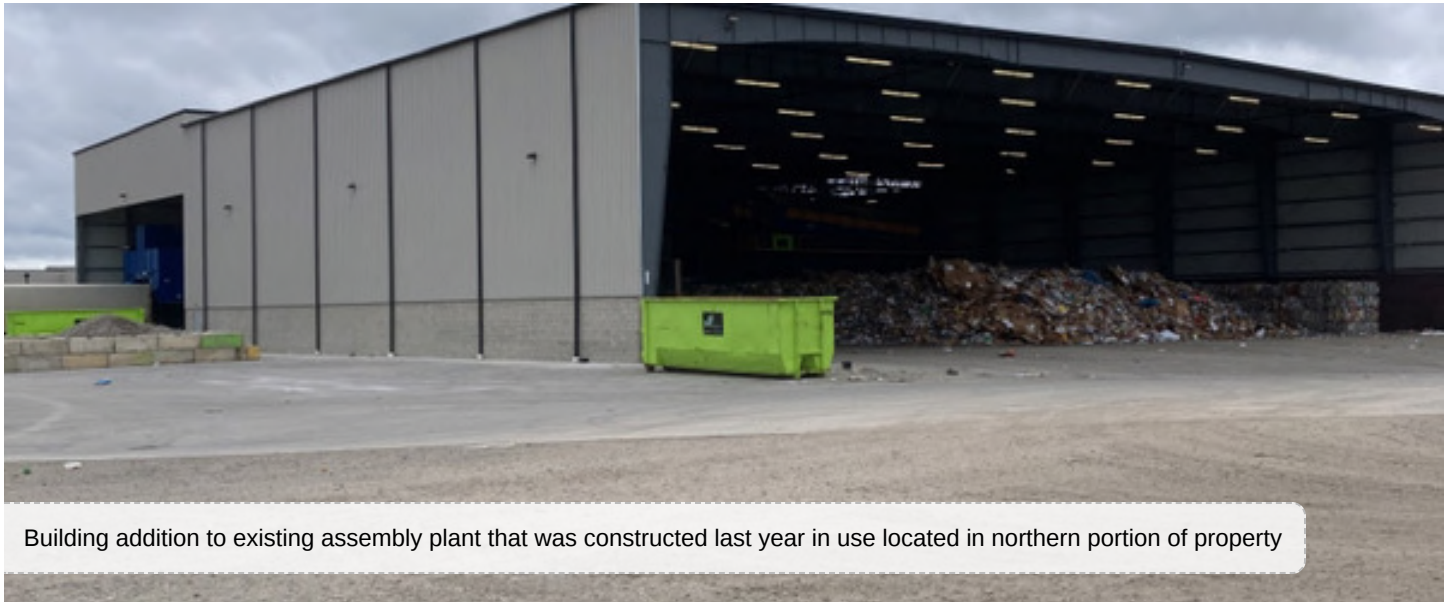
DRC and PCB Cap Areas Inspection Documentation and Photograph Logs

RACER Trust IC/EC Inspection v2

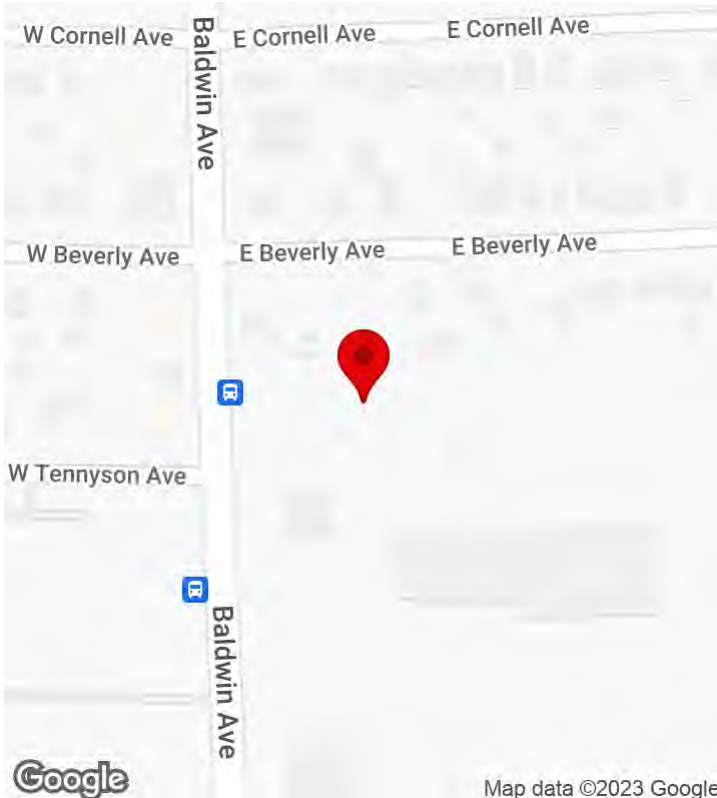


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Pontiac North Campus Industrial Land (#11970) on October 10, 2023



Building addition to existing assembly plant that was constructed last year in use located in northern portion of property



INSPECTION DATE

🕒 10/10/2023, 3:04:37 PM UTC
👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:28:04 PM UTC
👤 by RACER User

LOCATION

📍 42.664178, -83.299374

SITE NAME

📁 Pontiac North, MI

ZONE NAME

📁 Pontiac North Campus Industrial Land (#11970)



Map data ©2023 Google

Site Description

Site Name	Pontiac North, MI
Site Zone	Pontiac North Campus Industrial Land (#11970)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

Describe on-site land use	Industrial, Commercial
Describe off-site surrounding land use	Commercial, Industrial
Describe any on-site ownership or tenancy changes.	None - GFL is owner property is used to store refuse containers bins and garbage trucks property was former Fiero assembly plant
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	48F cloudy

Photos of current conditions/uses





Building addition to existing assembly plant that was constructed last year in use located in northern portion of property



View of existing building and northeastern portion of property facing north



Central portion of property and dumpster storage facing southwest



Central portion of property facing north



Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (1 Item)

Institutional Controls (IC) - 1. Annual DRC inspection- Former Fiero Assembly Plant - GFL

Name of the IC	Annual DRC inspection- Former Fiero Assembly Plant - GFL
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	No water wells observed on property; no evidence of staining in areas visually observed; no evidence of soil relocation or excavation (three small piles of dirt, gravel and broken concrete observed); property is non residential use
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Newer fence installed along property southern border between GFL and powerhouse property; some refuse seen on ground near new building addition; barrels seen marking some monitoring wells especially in high traffic areas

Institutional Control photos



Northern portion of the property facing west

Engineering Controls (EC)

Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023
Inspector Signature	

Signed 10/10/2023, 3:17:25 PM UTC

RACER Trust IC/EC Inspection v2

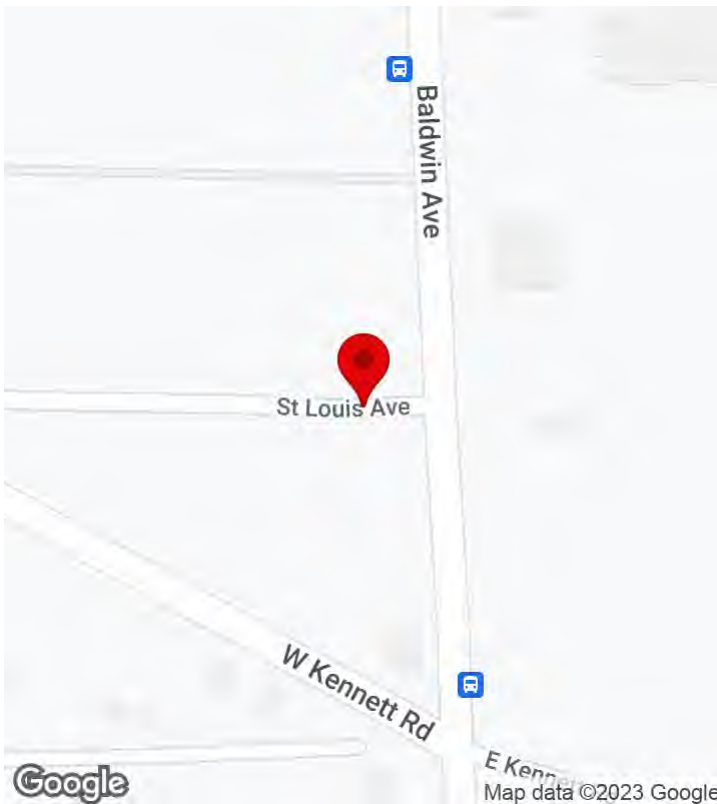


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Fiero Assembly Plant Parking Lot (#11210) on October 10, 2023



Parking lot facing south



INSPECTION DATE

🕒 10/10/2023, 12:15:13 PM UTC
👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:29:11 PM UTC
👤 by RACER User

LOCATION

📍 42.662111, -83.300476

SITE NAME

📁 Pontiac North, MI

ZONE NAME

📁 Fiero Assembly Plant Parking Lot (#11210)



Map data ©2023 Google

Site Description

Site Name	Pontiac North, MI
Site Zone	Fiero Assembly Plant Parking Lot (#11210)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

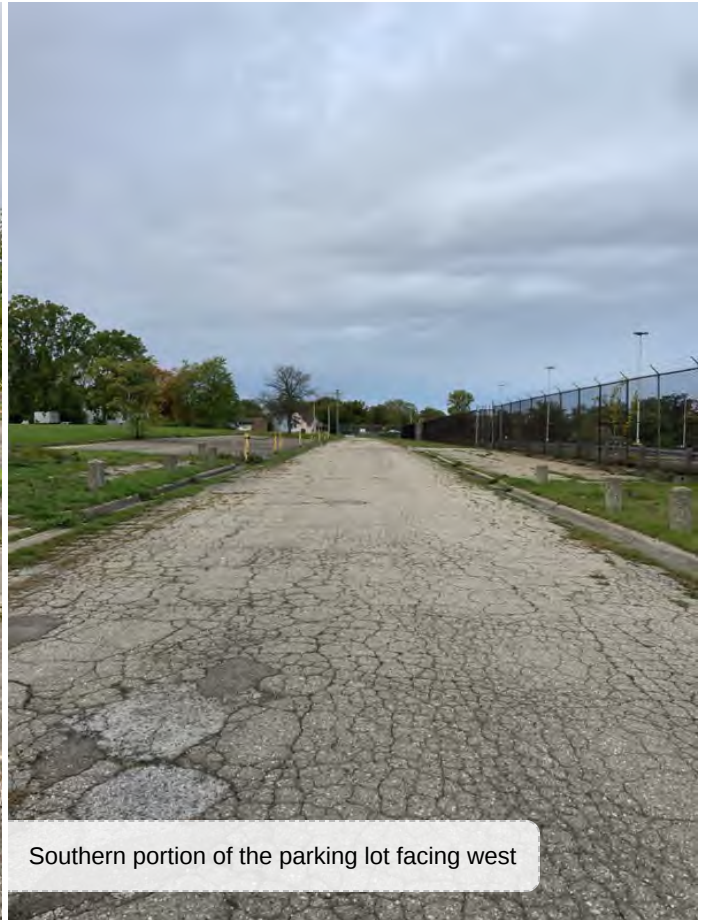
Describe on-site land use	Vacant
Describe off-site surrounding land use	Residential, Commercial
Describe any on-site ownership or tenancy changes.	None
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	43 F cloudy

Photos of current conditions/uses





Parking lot facing south



Southern portion of the parking lot facing west



Central portion of parking lot facing southwest



Western portion of parking lot facing east



Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (1 Item)

Institutional Controls (IC) - 1. Annual DRC inspection Fiero Parking Lot

Name of the IC	Annual DRC inspection Fiero Parking Lot
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	No water wells installed observed; no evidence of soil relocation or excavation; no buildings currently vacant lot; no observation of subsurface feature installation; property vacant non residential use; no staining where visually observed.
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Notes: quite a bit of vegetation growth; construction barrels or cones have been placed at PZ wells.

Institutional Control photos



Engineering Controls (EC)

Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023
Inspector Signature	 Signed 10/10/2023, 12:29:59 PM UTC

RACER Trust IC/EC Inspection v2

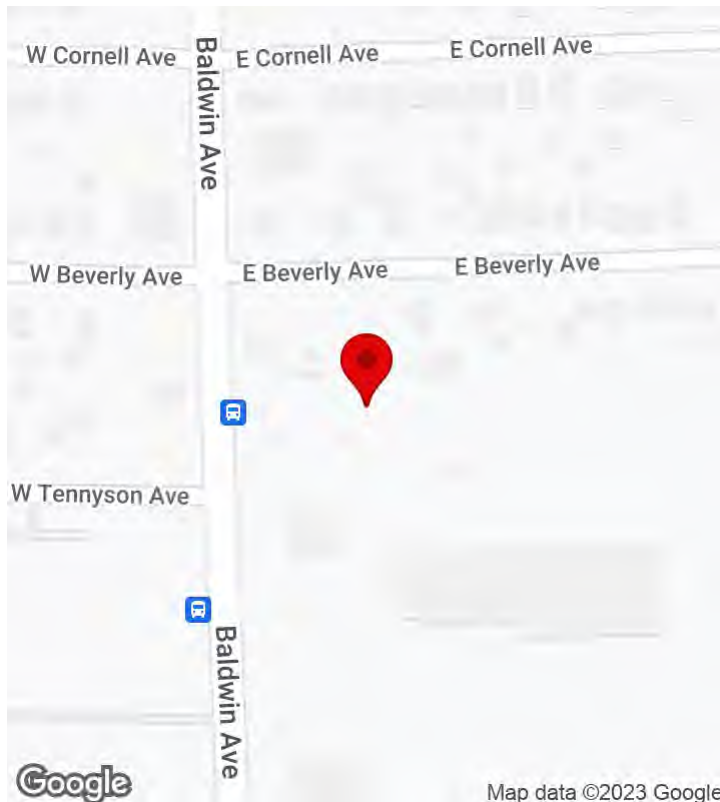


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Fiero Powerhouse (#11160) on October 10, 2023



Truck storage in northern portion of property facing east



INSPECTION DATE

🕒 10/10/2023, 3:43:36 PM UTC

👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:27:38 PM UTC

👤 by RACER User

LOCATION

📍 42.664241, -83.299379

SITE NAME

📍 Pontiac North, MI

ZONE NAME

📍 Fiero Powerhouse (#11160)



Map data ©2023 Google



Terradex
CA 94301

Site Description

Site Name	Pontiac North, MI
Site Zone	Fiero Powerhouse (#11160)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

Describe on-site land use	Commercial
Describe off-site surrounding land use	Commercial, Industrial, Residential
Describe any on-site ownership or tenancy changes.	None - Annual DRC inspection for Fiero Powerhouse
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	48F and cloudy

Photos of current conditions/uses





Truck storage in northern portion of property facing east



Truck storage in western portion of property facing southwest



Eastern portion of property facing south



Central and southern portion of property facing west

Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (1 Item)

Institutional Controls (IC) - 1. Annual DRC inspection Fiero Powerhouse

Name of the IC	Annual DRC inspection Fiero Powerhouse
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	No water wells installed; no evidence of soil excavation or relocation activities; no buildings constructed currently vacant other than old powerhouse portion left; no evidence of subsurface utility installation; property is non residential use currently leased to park truck trailers.
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Some barrels in place marking wells some had been moved away from wells.

Institutional Control photos



Central portion of property facing southeast

Engineering Controls (EC)

Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023

Inspector Signature



Signed 10/10/2023, 3:58:08 PM UTC



RACER Trust IC/EC Inspection v2

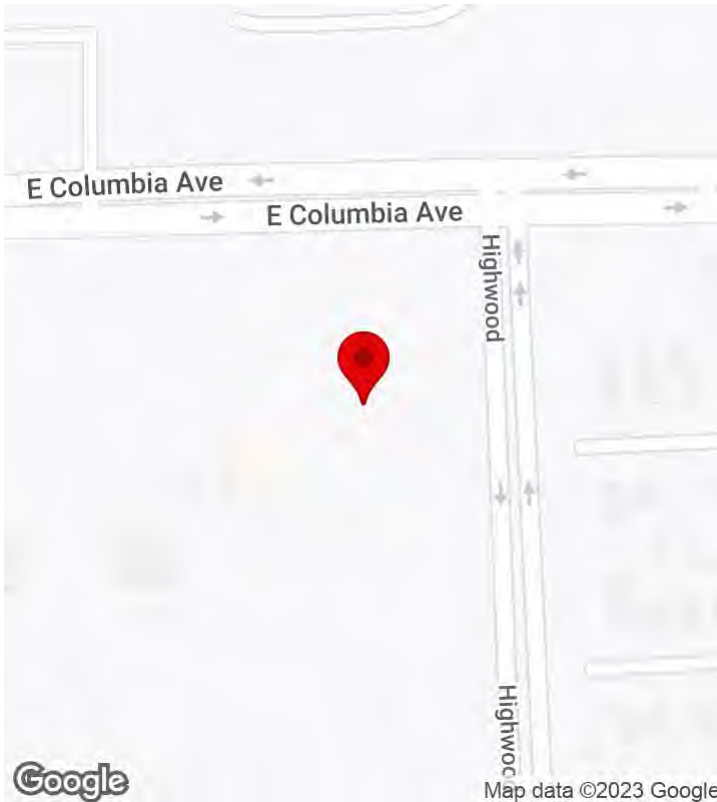


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Pontiac North Campus Industrial Land (#11970) on October 10, 2023



Cars stored onsite for parts



INSPECTION DATE

🕒 10/10/2023, 2:03:27 PM UTC

👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:28:27 PM UTC

👤 by RACER User

LOCATION

📍 42.669296, -83.290933

SITE NAME

📁 Pontiac North, MI

ZONE NAME

📁 Pontiac North Campus Industrial Land (#11970)



Map data ©2023 Google

Site Description

Site Name	Pontiac North, MI
Site Zone	Pontiac North Campus Industrial Land (#11970)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

Describe on-site land use	Commercial
Describe off-site surrounding land use	Industrial, Commercial
Describe any on-site ownership or tenancy changes.	None - U pull and save auto parts - Annual DRC inspection
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	46F and cloudy

Photos of current conditions/uses





Cars stored onsite for parts



Western portion of property facing south



Staining with water puddle seen under a vehicle- several vehicles with staining underneath



Southern portion of property facing east



Central portion of property facing north



Building at property



Eastern parking lot portion of property facing south

Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (1 Item)

Institutional Controls (IC) - 1. Annual DRC inspection- U pull and save auto parts

Name of the IC	Annual DRC inspection- U pull and save auto parts
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	No water wells observed at property; no evidence of excavation or soil relocation; no evidence of subsurface utility installation; no new buildings have been constructed; property is being used for non residential purposes.
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Staining observed beneath most vehicles stored at property

Institutional Control photos



Northern portion of property facing west

Engineering Controls (EC)



Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023

Inspector Signature



Signed 10/10/2023, 2:15:13 PM UTC

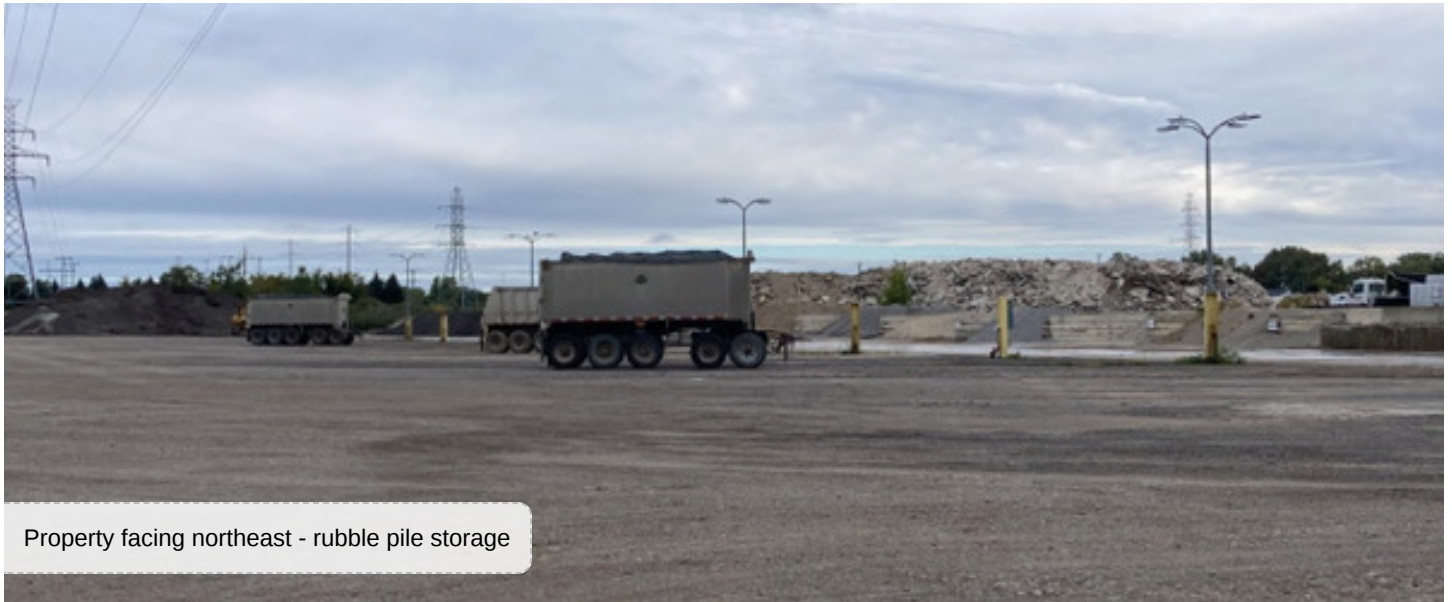


RACER Trust IC/EC Inspection v2

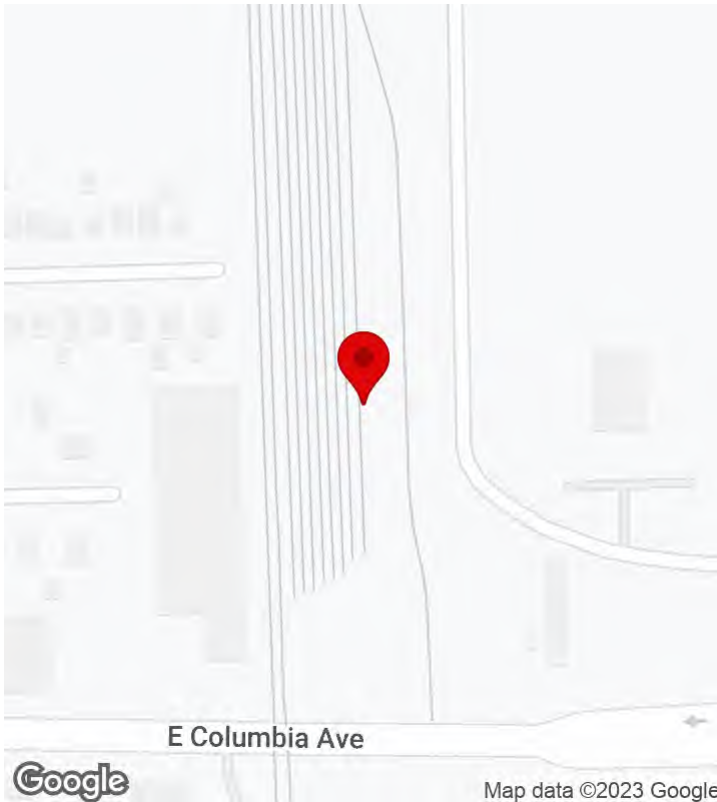


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Pontiac North Campus Industrial Land (#11970) on October 10, 2023



Property facing northeast - rubble pile storage



INSPECTION DATE

🕒 10/10/2023, 1:20:51 PM UTC

👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:29:56 PM UTC

👤 by RACER User

LOCATION

📍 42.671369, -83.294940

SITE NAME

📁 Pontiac North, MI

ZONE NAME

📁 Pontiac North Campus Industrial Land (#11970)

Site Description

Site Name	Pontiac North, MI
Site Zone	Pontiac North Campus Industrial Land (#11970)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

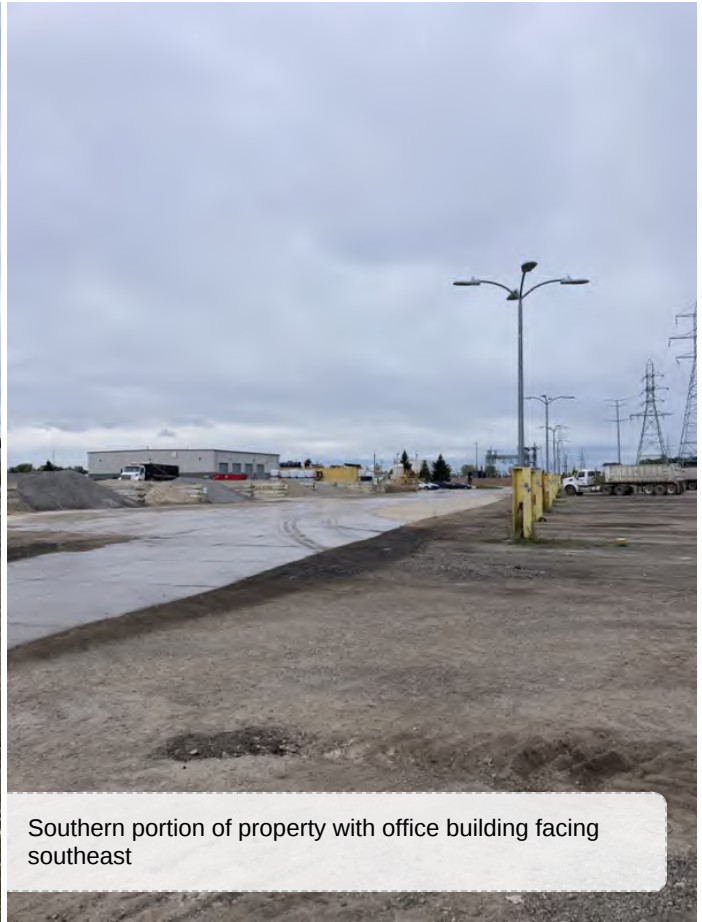
Describe on-site land use	Commercial
Describe off-site surrounding land use	Commercial, Industrial
Describe any on-site ownership or tenancy changes.	None - Dani's Transport present as operating business onsite - annual DRC inspection
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	44F and cloudy

Photos of current conditions/uses





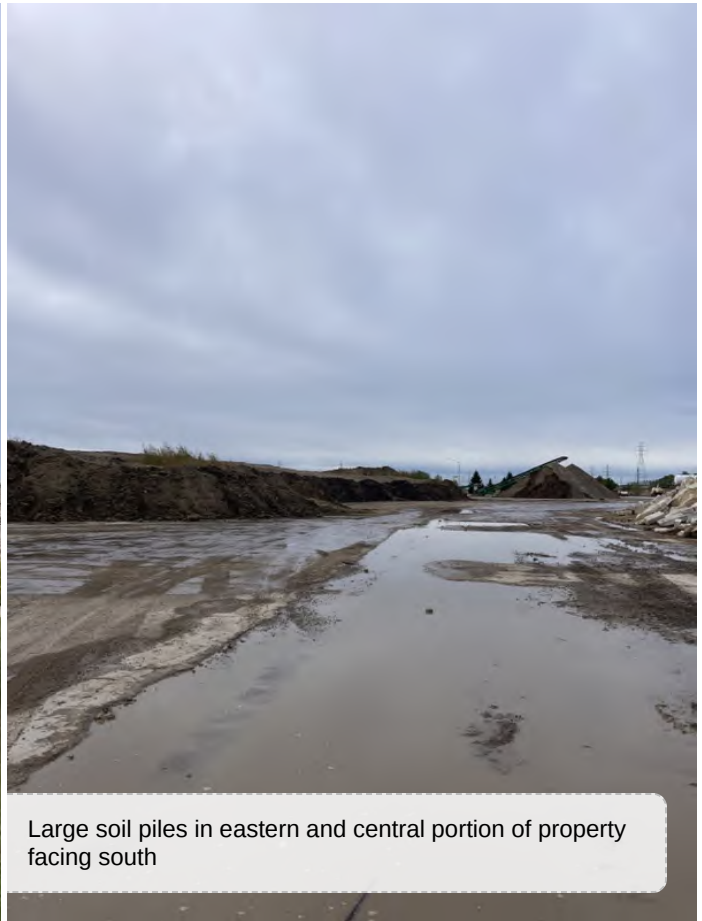
Property facing northeast - rubble pile storage



Southern portion of property with office building facing southeast



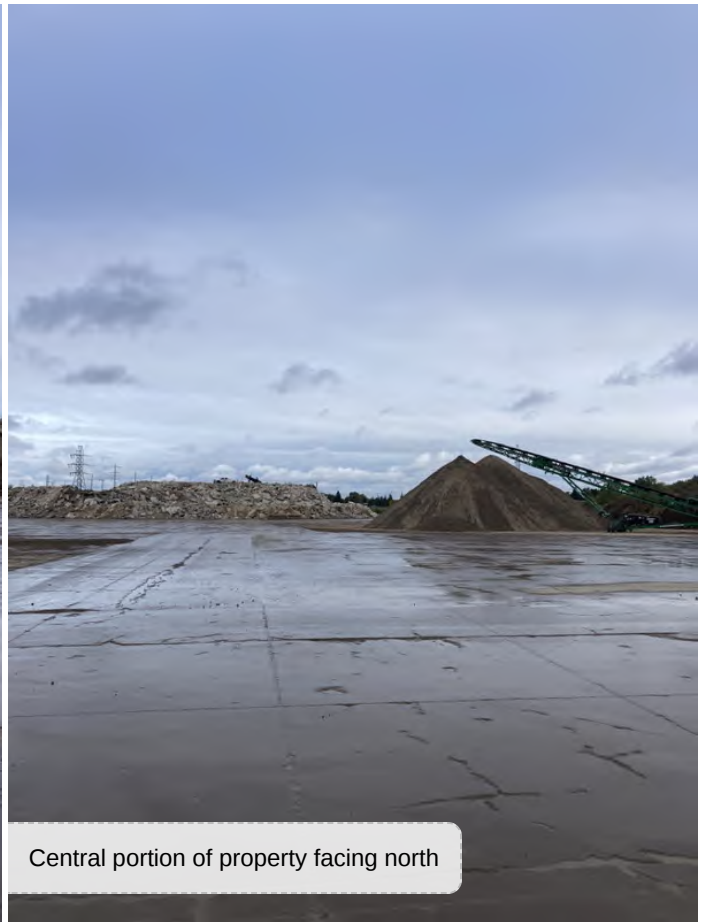
North central portion of property facing south



Large soil piles in eastern and central portion of property facing south



Southern portion of property facing west



Central portion of property facing north

Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (1 Item)

Institutional Controls (IC) - 1. Annual DRC inspection- Dani's Transport

Name of the IC	Annual DRC inspection- Dani's Transport
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	No water wells observed; no visual evidence of excavation or soil relocation (other than rubble storage piles that are part of business); no new buildings constructed; no evidence of subsurface feature installation; land is non residential use; no evidence of staining where visually evaluated during inspection other than some sheen in parking lot area where it was wet.
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Notes: types of materials stored included bricks; concrete; soil; truck trailers. Large soil pile that encompasses most of the central portion of the property is new for this years inspection. Construction barrels placed were seen smashed and not over monitoring wells.

Institutional Control photos





Engineering Controls (EC)

Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023
Inspector Signature	

Signed 10/10/2023, 1:34:26 PM UTC

RACER Trust IC/EC Inspection v2

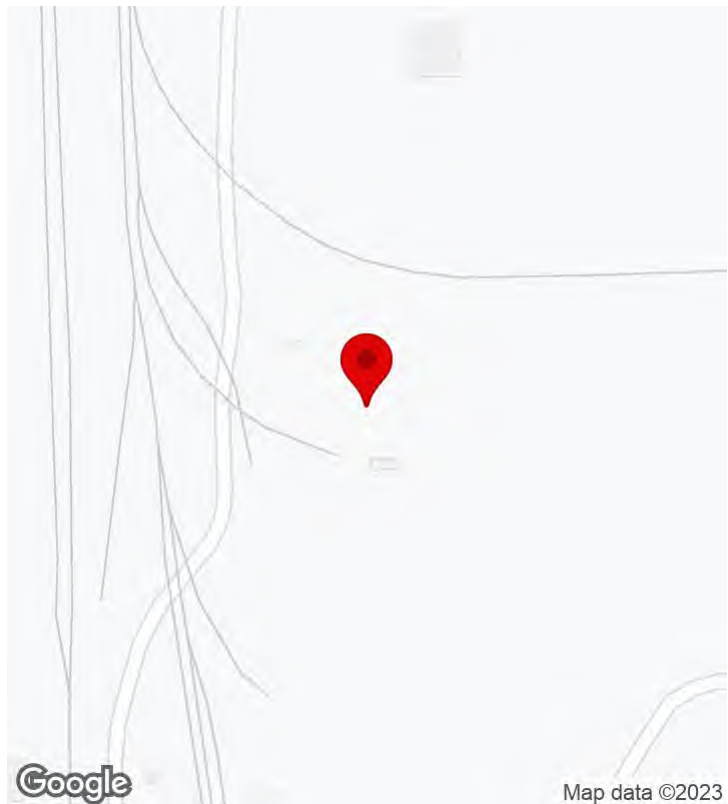


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Pontiac North Campus Industrial Land (#11970) on October 10, 2023



Entrance to property facing west



INSPECTION DATE

🕒 10/10/2023, 4:53:53 PM UTC

👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:30:56 PM UTC

👤 by RACER User

LOCATION

📍 42.660357, -83.293272

SITE NAME

📁 Pontiac North, MI

ZONE NAME

📁 Pontiac North Campus Industrial Land (#11970)



Map data ©2023

Site Description

Site Name	Pontiac North, MI
Site Zone	Pontiac North Campus Industrial Land (#11970)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

Describe on-site land use	Commercial
Describe off-site surrounding land use	Commercial, Industrial
Describe any on-site ownership or tenancy changes.	None - currently bedrock recycling
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	49F cloudy

Photos of current conditions/uses





Entrance to property facing west



Property facing west



Central portion of property facing northeast



Eastern portion of property facing east

Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (3 Items)

Institutional Controls (IC) - 1. Annual DRC inspection of former plant 14 currently bedrock

Name of the IC	Annual DRC inspection of former plant 14 currently bedrock
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	Non residential use; no water wells installed; no soil excavation or relocation observed (other than soil piles stored onsite as part of business); no evidence of utility installation; no areas of staining observed where visually evaluated.
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Materials stored include wood chips; soil; tree debris; concrete; mulch; low occupancy areas are intact and area in central portion is being used for mulch storage.

Institutional Control photos



Central portion of property and material storage facing northeast

Institutional Controls (IC) - 2. West Tatro PCB cap

Name of the IC	West Tatro PCB cap
-----------------------	--------------------

Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	Low occupancy use areas maintenance of cover over PCB impacted soils. Markers noting extent of cover area
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Vegetation may need to be cut next year

Institutional Control photos





One of several markers installed around cap area



West cap area facing west



West cap facing east

Institutional Controls (IC) - 3. East Tatro PCB cap

Name of the IC	East Tatro PCB cap
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	Low occupancy area and PCB cap placement to prevent exposure to soils
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	

Institutional Control photos





One of several markers present to demarcate cap area



East cap area facing east



East cap facing west

Engineering Controls (EC)

Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023

Inspector Signature



Signed 10/10/2023, 5:03:03 PM UTC



RACER Trust IC/EC Inspection v2

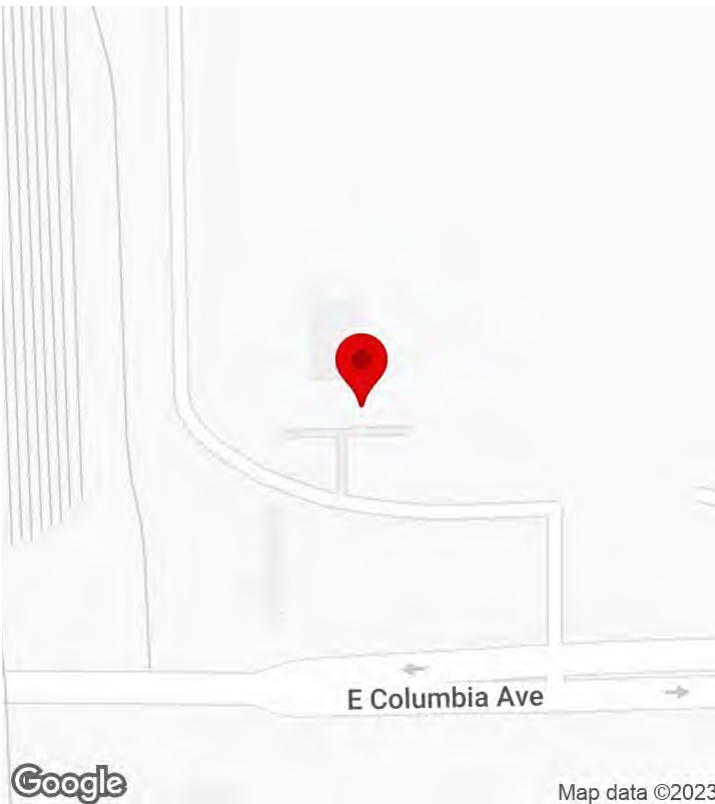


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Pontiac North Campus Industrial Land (#11970) on October 10, 2023



Western rail parcel facing south



INSPECTION DATE

🕒 10/10/2023, 12:59:21 PM UTC

👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:29:48 PM UTC

👤 by RACER User

LOCATION

📍 42.671156, -83.293438

SITE NAME

📁 Pontiac North, MI

ZONE NAME

📁 Pontiac North Campus Industrial Land (#11970)



Map data ©2023

Site Description

Site Name	Pontiac North, MI
Site Zone	Pontiac North Campus Industrial Land (#11970)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

Describe on-site land use	Vacant
Describe off-site surrounding land use	Commercial, Industrial, Residential
Describe any on-site ownership or tenancy changes.	None - annual DRC inspection of rail parcels
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	44 F and cloudy

Photos of current conditions/uses





Western rail parcel facing south



Northern rail parcel facing northwest



Northern rail parcel facing east



Western rail parcel facing southwest



Southern portion of west rail parcel facing north

Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (1 Item)

Institutional Controls (IC) - 1. Annual DRC inspection of rail parcels

Name of the IC	Annual DRC inspection of rail parcels
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	No water wells observed; no evidence of soil relocation or excavation; no buildings present; no evidence of subsurface utility installation; property is vacant non residential use; no areas of staining seen where visually inspected (with exception of one small area in southern portion of west rail parcel)
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Notes: heavier vegetation growth observed this year on rail parcels compared to the previous year. Equipment stored on southern portion of west rail parcel.

Institutional Control photos



Engineering Controls (EC)

Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023
Inspector Signature	

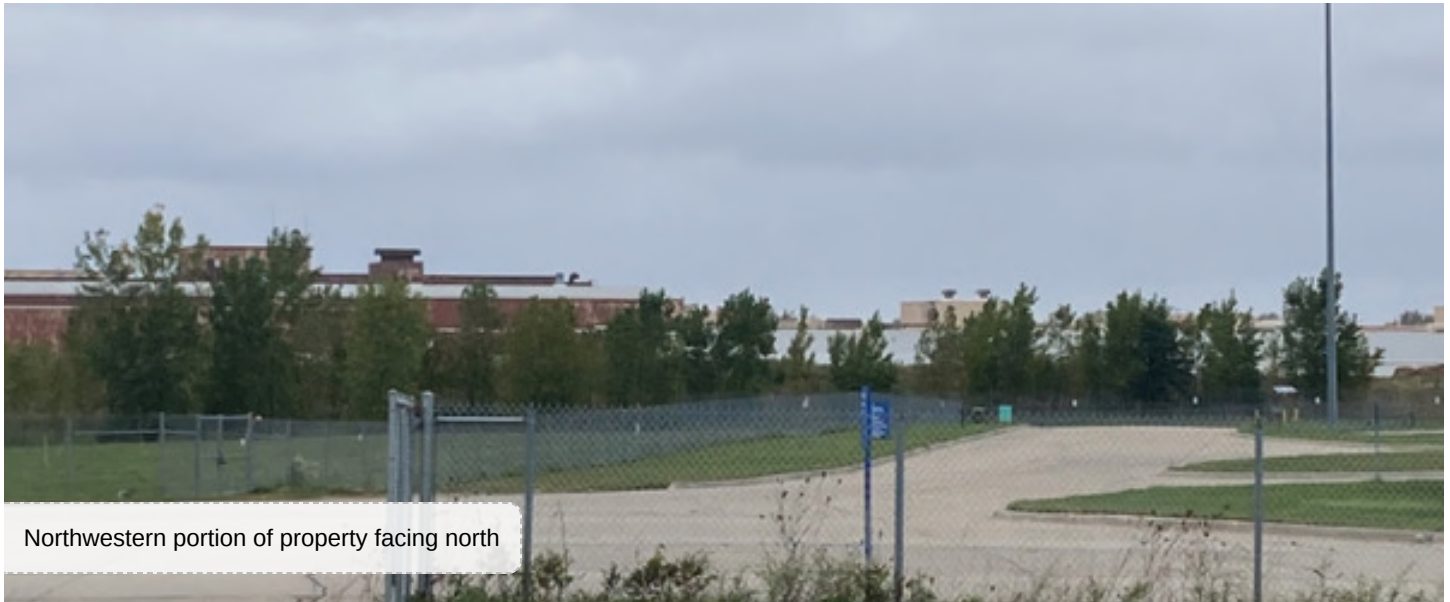
Signed 10/10/2023, 1:18:07 PM UTC

RACER Trust IC/EC Inspection v2

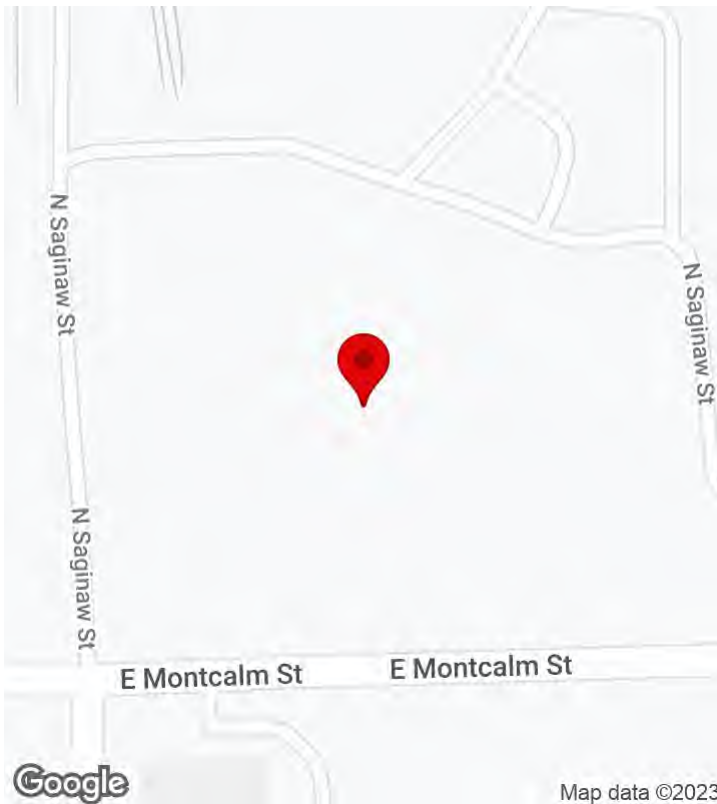


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Pontiac North Campus Industrial Land (#11970) on October 10, 2023



Northwestern portion of property facing north



INSPECTION DATE

🕒 10/10/2023, 6:24:09 PM UTC

👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:30:05 PM UTC

👤 by RACER User

LOCATION

📍 42.657119, -83.293009

SITE NAME

📁 Pontiac North, MI

ZONE NAME

📁 Pontiac North Campus Industrial Land (#11970)



Map data ©2023

Site Description

Site Name	Pontiac North, MI
Site Zone	Pontiac North Campus Industrial Land (#11970)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

Describe on-site land use	Commercial
Describe off-site surrounding land use	Commercial, Industrial
Describe any on-site ownership or tenancy changes.	None - currently owned and operated by USPS
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	50F and cloudy

Photos of current conditions/uses





Northwestern portion of property facing north



Southern portion of property facing west



Retention pond in southeastern portion of property facing southeast



Northwestern portion of property facing northwest



Northern portion of property facing east

Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (4 Items)

Institutional Controls (IC) - 1. Annual DRC inspection of USPS property

Name of the IC	Annual DRC inspection of USPS property
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	No water wells installed; no soil excavation or soil relocation observed; no new buildings constructed; no evidence of utility installation; land is being used for non residential purposes; no staining observed in areas visually evaluated.
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Fencing observed in northern portion of property that was not observed last year.

Institutional Control photos



Southern portion of USPS facing east

Institutional Controls (IC) - 2. USPS west yard north PCB cap

Name of the IC	USPS west yard north PCB cap
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	Low occupancy area and PCB cap in place to prevent exposure to soils
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Tall vegetation made some markers hard to find- possibly cut down vegetation and paint marker sticks bright orange

Institutional Control photos



North cap west yard facing east at USPS



One of several markers demarcating the now the cap area



North cap area facing west

Institutional Controls (IC) - 3. USPS west yard south PCB cap

Name of the IC	USPS west yard south PCB cap
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	Low occupancy use and PCB cap in place to prevent exposure to soils in area
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Tall vegetation in area could be cut down to make finding markers easier. Also painting stakes brighter orange may help

Institutional Control photos





USPS south cap facing east



One of several markers demarcating the south PCB cap area



South cap area facing west

Institutional Controls (IC) - 4. USPS southeast PCB cap area AOI W-9

Name of the IC	USPS southeast PCB cap area AOI W-9
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	PCB cap in place that consists mainly of concrete parking lot and grass
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Area is in good repair and cut grass

Institutional Control photos



West portion of cap area facing north



East portion of cap area facing north

Engineering Controls (EC)

Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023

Inspector Signature

A handwritten signature in black ink, appearing to be 'T. [unclear]', located within a rectangular signature box.

Signed 10/10/2023, 6:31:34 PM UTC



RACER Trust IC/EC Inspection v2

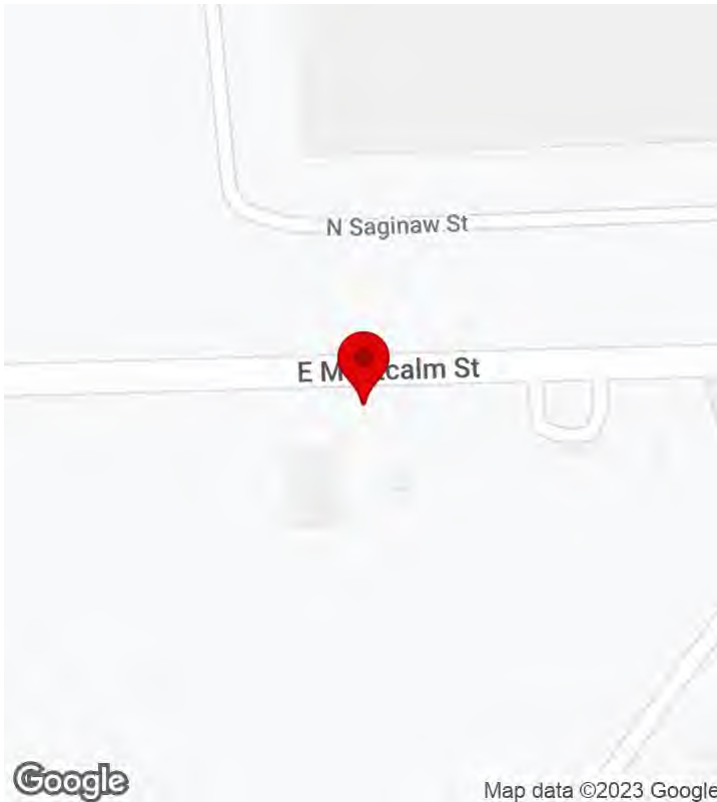


A site inspection app made for Institutional Control (IC) and Engineering Control (EC) conformance across RACER Trust sites.

IC/EC Inspection Report for Pontiac North, MI at Pontiac North Campus Industrial Land (#11970) on October 10, 2023



Northern portion of property facing west



INSPECTION DATE

🕒 10/10/2023, 4:16:43 PM UTC

👤 by Tiffany Linder

UPDATED

🕒 10/10/2023, 7:29:44 PM UTC

👤 by RACER User

LOCATION

📍 42.655993, -83.290410

SITE NAME

📁 Pontiac North, MI

ZONE NAME

📁 Pontiac North Campus Industrial Land (#11970)



Map data ©2023 Google

Site Description

Site Name	Pontiac North, MI
Site Zone	Pontiac North Campus Industrial Land (#11970)
Site Address	North Glenwood Avenue (and vicinity)
Site City	Pontiac
Site State	MI

General Site Conditions

Describe on-site land use	Vacant, Commercial
Describe off-site surrounding land use	Industrial, Commercial
Describe any on-site ownership or tenancy changes.	None - duck pond Annual DRC inspection
Describe any needed on-site repairs	None
Describe any on-site improvements	None
Weather Conditions at time of inspection	49F and cloudy

Photos of current conditions/uses





Northern portion of property facing west



Property facing west



Property facing east

Inspect Institutional Controls and Engineering Controls

Institutional Controls (IC) (1 Item)

Institutional Controls (IC) - 1. Annual DRC inspection duck pond SWDF


Name of the IC	Annual DRC inspection duck pond SWDF
Characterize restricted activities and uses	Other Restrictions
Characterize other restriction(s)	No water wells installed; no evidence of excavation or soil relocation; no buildings at property currently vacant; no evidence of subsurface utility installation; vacant non residential use. No visual evidence of staining in areas observed
Do site use and activities comply with other restrictions	Yes
Other comments or notes about the IC?	Property locked in fence ground cover is gravel and grass

Institutional Control photos



Engineering Controls (EC)

Inspector Information

Inspector Name	Tiffany Linder
Inspector Company	Arcadis of Michigan LLC
Inspector Email	Tiffany.Linder@arcadis.com
Inspection Date	October 10, 2023
Inspector Signature	 Signed 10/10/2023, 4:24:11 PM UTC



Attachment 3

Space Know Change Detection Analysis Report

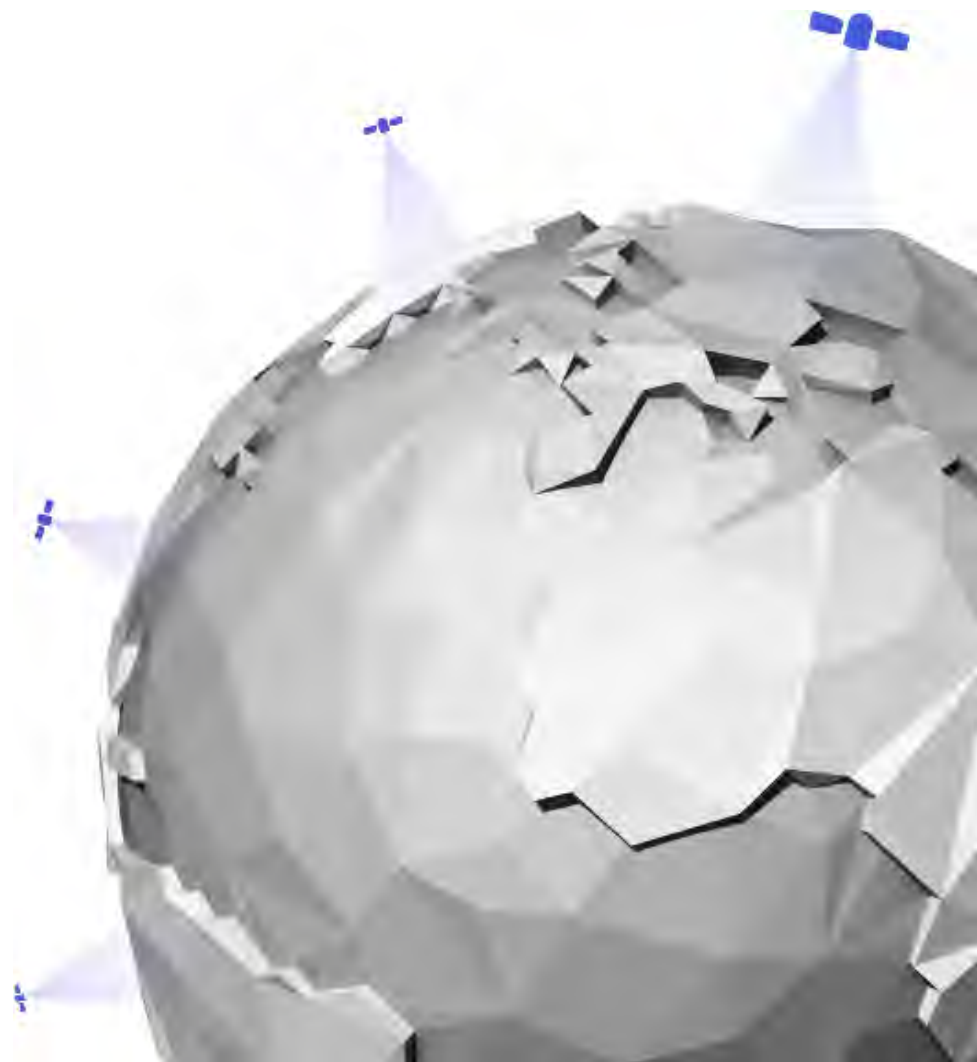
Delivery report

Change Detection Analysis

Pontiac North vol.4

January 01, 2023 – January 01, 2024

Translating Earth data into
actionable intelligence





Pontiac North

Introduction



Area of Interest (AOI) Pontiac North [0,53 mi² (1,36 km²)]

Change Period January 01, 2023 – January 01, 2024

- Change Detection Scope**
- Excavation/grading in AOI.
 - Visible stockpiling of soil.
 - New construction of buildings.

SpaceKnow may not be able to recognize the difference between excavation and grading but we can detect both changes.

Delivery Report Date January 31, 2024

Table of Contents	Methodology and Analyst Commentary	2
	Vegetation Index Explained	4
	Inventory of Images	5
	Area of Interest (AOI) Map	11
	Change Detection Summary	12
	No Change Indication Summary	17
	Additional Observation Summary	18



Methodology and Analyst Commentary

Analyst Commentary

Examining the available High-resolution imagery, visible stockpiling of soil was detected in two AOI Sectors, Sector 1 (N Construction Site) and Sector 3 (Middle Construction Site). The site work continues from the previous Change period in both AOIs, there are visible new piles and changes in the amount of soil so we can assume that the work continues.

No new construction of buildings and excavation or grading was detected.

Additional Observations include the detection of logistic storages transfer in the AOI Sector 3. Logistic storages were relocated during the Change period but at the end, logistic storages were at the same place as at the beginning of the Change period. Additional Observations include also the development of vegetation in the southwestern part of the AOI with the usage of the vegetation index. We can assume that vegetation is healthy and comparable to previous years, values of the NDVI show seasonal patterns which can also reflect the normal health of the vegetation. However, it is out of the scope of this Delivery Report to find the cause of this. Low-resolution images from Sentinel-2 were used for NDVI but due to low resolution, the images were not shown in the analysis.

SAR Low resolution Sentinel S-1 satellite imagery was inspected and used in Additional Observations for the creation of a time series in AOI Sector 5 - Facility for a description of car movement in two parking lots. Otherwise, SAR satellite imagery showed no relevant data and was not involved in the Delivery Report.

Within this Delivery Report, three types of conclusions are presented.

- **Change Detections** concern exclusively the changes defined within Change Detection Scope.
- **No Change Indication** presents data that support the conclusion that no change of the phenomena defined within Change Detection Scope has been detected.
- **Additional Observation** refers to areas where relevant and/or interesting phenomena have been observed beyond the Change Detection Scope.

Methodology

1. **AOI Sector Creation.** AOI Sectors are created within the AOI while considering the type of surface which is being monitored, in order to be able to carry out long term analyses.
2. **Index Image Analysis.** Index values are calculated and evaluated for selected AOI Sectors.
3. **Visual Inspection.** Each AOI Sector is assessed over available optical Low, Medium and High resolution satellite imagery.
4. **Assess SAR Imagery.** Low resolution SAR satellite imagery (Sentinel S-1) is analyzed whether it detects additional findings. If useful, it is included in the Delivery Report.
5. **Create a Delivery Report.** The outcomes of all prior steps are analyzed and findings are described in the Delivery Report.



Imagery Resolution

Following types of imagery are used in this Delivery Report.

- **High resolution (0.75 - 0.80 m/pixel)**
 - SkySat (SS) from Planet Labs
- **Medium resolution (3 - 4 m/pixel)**
 - PSScene4band (PS) from Planet Labs
- **Low resolution (10 - 60 m/pixel)**
 - Sentinel-2-SR-Harmonized (S2) from ESA-COPERNICUS
 - Sentinel-1 (S1) from ESA-COPERNICUS (SAR images)

RVI Thresholded Description

Radar Vehicle Index (RVI) is a proprietary algorithm computing per pixel values of a single SAR image. These values are within the range of $< 0.0, 1.0 >$ such that low values correspond to low backscatter materials like water and high values to high backscatter materials like metallic objects or concrete structures. For an AOI Sector we choose a single ascending orbit, to provide more consistent data.



Vegetation Index Explained

In order to assess specific features of observed surfaces, all remote sensing indices are calculated using a combination of the visible electromagnetic spectrum wavelength bands - Red and blue, as well as the Near InfraRed (NIR) band.

In this Change Detection Analysis, we use NDVI standard Vegetation index.

NDVI

Normalized Difference Vegetation Index (NDVI) is the fundamental index used for vegetation health assessment. It uses differences in NIR and Red bands to indicate the condition of the greenery. Higher values indicate healthy vegetation with a higher content of chlorophyll and/or more dense vegetation cover. Lower values indicate vegetation that is less healthy, or which populates the ground sparsely.

How to interpret NDVI values

Max = 1

Healthy and abundant vegetation, high content of chlorophyll

Min = 0

No vegetation present, dead vegetation, out of season detection

When interpreting vegetation indices values, it is important to assess them in the context of the previous years development. For this purpose, we use Sentinel 2 satellite imagery with data available from the year 2018.



Inventory of Images

Imagery and Imagery Analysis

Imagery Provider	Date	Quantity	Type	Resolution Category	Resolution (m/pixel)	SpaceKnow Guardian*
[SS] Planet Labs - SkySat	Dec-14-2022- Jan-14-2024	3	Optical	High	0.75	View images
[PS] Planet Labs - PSScene4band	Jan-09-2023- Dec-14-2023	13	Optical	Medium	3 - 4	View images
[S2] ESA-COPERNICUS - Sentinel-2-SR-Harmonized	Jan-09-2023- Dec-15-2023	39	Optical	Low	10 - 60	View images
[S1] COPERNICUS- Sentinel-1 SAR	Jan-13-2023- Dec-27-2023	28	Radar	Low	10	View images

* SpaceKnow Guardian provides access to imagery as well as Artificial Intelligence-based analysis of Change activity.



High Resolution Imagery Time Series

Imagery and Imagery Analysis



FIRST IMAGE of the Change period • December 14, 2022 • Planet Labs - SkySat



LAST IMAGE of the Change period • January 24, 2024 • Planet Labs - SkySat



High Resolution Imagery Time Series

Imagery and Imagery Analysis



ENLARGED FIRST IMAGE of the Change period • December 14, 2022 • Planet Labs - SkySat

High Resolution Imagery Time Series

Imagery and Imagery Analysis



ENLARGED LAST IMAGE of the Change period • January 14, 2024 • Planet Labs - SkySat



Medium Resolution Imagery Time Series

Imagery and Imagery Analysis



FIRST IMAGE of the Change period • January 09, 2023 • Planet Labs - PSOrthoTile



LAST IMAGE of the Change period • December 15, 2023 • Planet Labs - PSOrthoTile

Area of Interest (AOI) Map

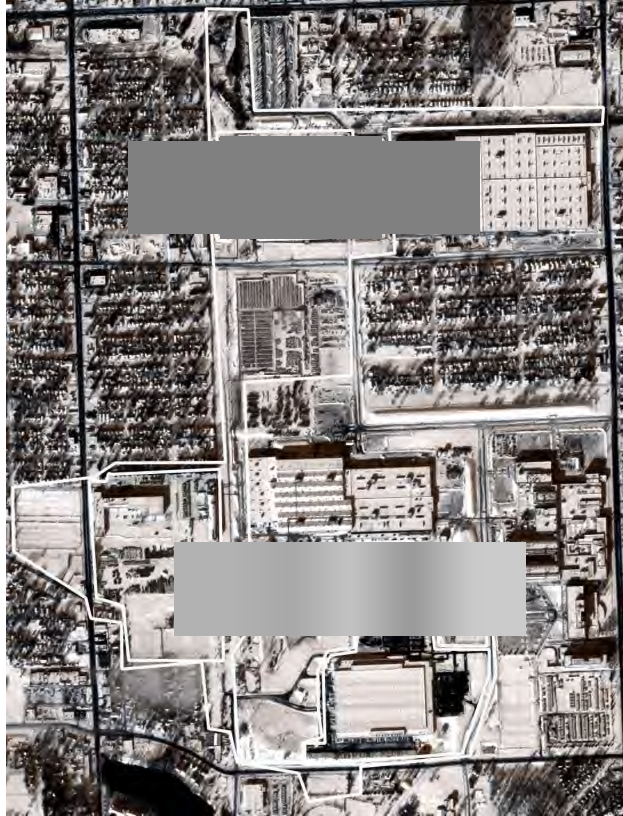
The AOI is divided into AOI Sectors, which are created based on their specific characteristics, primarily in relation to the defined Change Detection Scope.

This approach enables us to consistently monitor the state of each AOI Sector and compare its features.





Change Detection Summary



AOI Sector	Change Detection Scope	Item (pages)	Commentary
1 - N Construction Site	Visible stockpiling of soil	<u>#1</u> <u>13-14</u>	Stockpiling of soil continues from the previous Change period.
3 - Middle Construction Site		<u>#2</u> <u>15-16</u>	Stockpiling of soil continued from the previous Change period in the whole AOI.



Change Detection Detail

Change Item #1 - High Resolution Imagery

Change Detection Scope	AOI Sector	Commentary
Visible stockpiling of soil	1 - N Construction Site	Stockpiling of soil continues from the previous Change period.



Image 1 December 14, 2022, SS (High-res)



Image 2, November 9, 2023, SS (High-res)

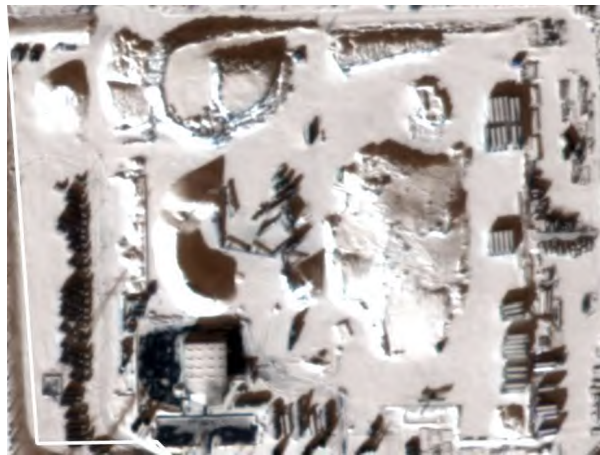


Image 3, January 14, 2024, SS (High-res)



Change Detection Item #1 - Medium Resolution Imagery



Image 1 December 21, 2022, PS (Mid-res)



Image 2 March 30, 2023, PS (Mid-res)



Image 3 September 01, 2023, PS (Mid-res)



Image 4 December 23, 2023, PS (Mid-res)

Images 1-4 show an ongoing Stockpiling of soil in AOI Sector 1 which continues from the previous Change period. The extent and level of stockpiling changes during the Change period and at the end of 2023, new piles are visible in the left part of the AOI.



Change Detection Detail

Change Item #2 - High Resolution Imagery

Change Detection Scope	AOI Sector	Commentary
Visible stockpiling of soil	3 - Middle Construction Site	Stockpiling of soil continued from the previous Change period in the whole AOI.



Image 1 December 14, 2022, Planet Labs - SkySat



Image 2, November 09, 2023, Planet Labs - SkySat



Image 3, January 14, 2024, Planet Labs - SkySat



Change Detection Item #2 - Medium Resolution Imagery



Image 1 December 21, 2022, PS (Mid-res)



Image 2 June 01, 2023, PS (Mid-res)



Image 3 October 03, 2023, PS (Mid-res)



Image 4 December 15, 2023, PS (Mid-res)

Images 1-4 show an ongoing Stockpiling of soil in AOI Sector 3 which continues from the previous Change period. There is visible movement of piles and change in the amount of soil during the Change period.

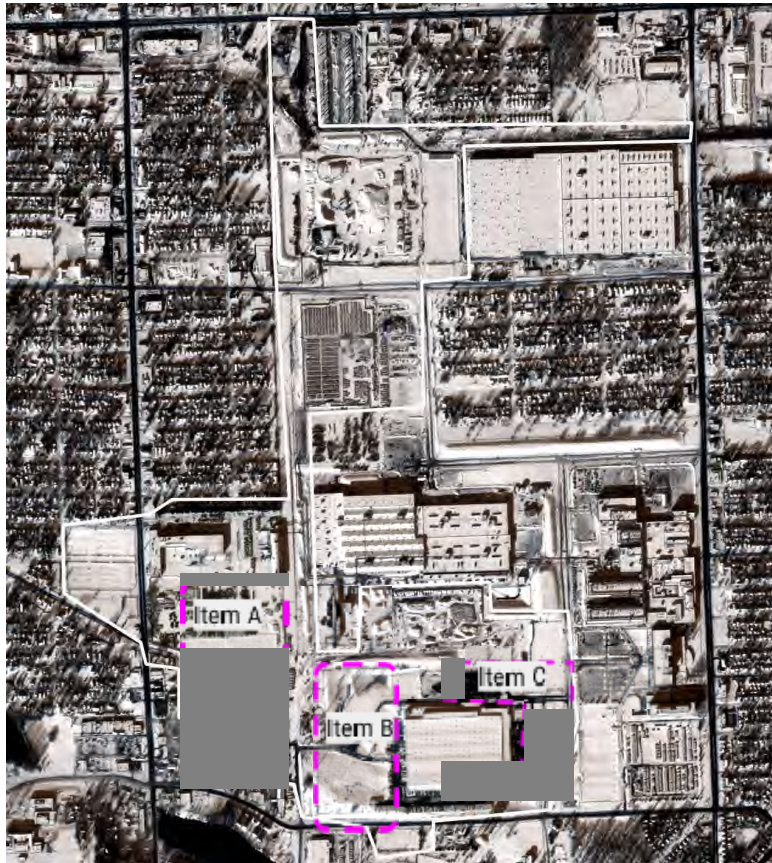


No Change Indication Summary

AOI Sector	Change Detection Scope	Commentary
All	Excavation/grading	No visible excavation or grading in AOI
All	New construction of buildings	No apparent construction of buildings has been detected.



Additional Observation Summary



AOI Sector	Observation	Observation - pages	Commentary
2 - W Construction Site	Movement of logistic storages	A <u>19</u>	Change in the amount and position of logistic storages during the Change period.
4 - Vegetation	Vegetation development	B <u>20-21</u>	Vegetation growth is observed according to the development in previous years. The values are consistently below average.
5 - Facility	Occupancy of Parking Areas 1 and 2	C <u>22-23</u>	The values of occupancy differ throughout the Change period in both Parking Areas.



Additional Observation Detail

Observation A - High Resolution Imagery

Observation	AOI Sector	Commentary
Displacement of logistic storages	2 - W Construction Site	Change in the amount and position of logistic storages during the Change period.



Image 1 December 14, 2022, Planet Labs - SkySat



Image 2 November 9, 2023, Planet Labs - SkySat



Image 3 January 14, 2024, Planet Labs - SkySat

Image 1 shows the southern part of the AOI Sector 2 at the beginning of the Change period. We can observe that the logistic storages were placed in the upper part of the AOI. During the Change period, the logistic storages were relocated mainly into the middle and southern parts of the AOI (**Image 2**), at the end of the Change period in **Image 3** the logistic storages were back in the upper part of the AOI.



Additional Observation Detail

Observation B - High Resolution Imagery

Observation	AOI Sector	Commentary
Vegetation development	4 - Vegetation	Vegetation growth is observed according to the development in previous years. The values are consistently below average.

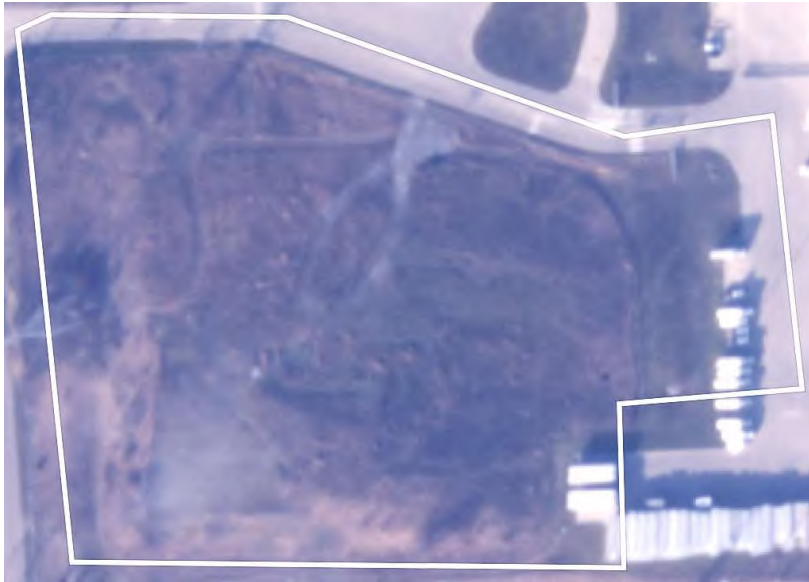


Image 1 December 14, 2022, Planet Labs - SkySat



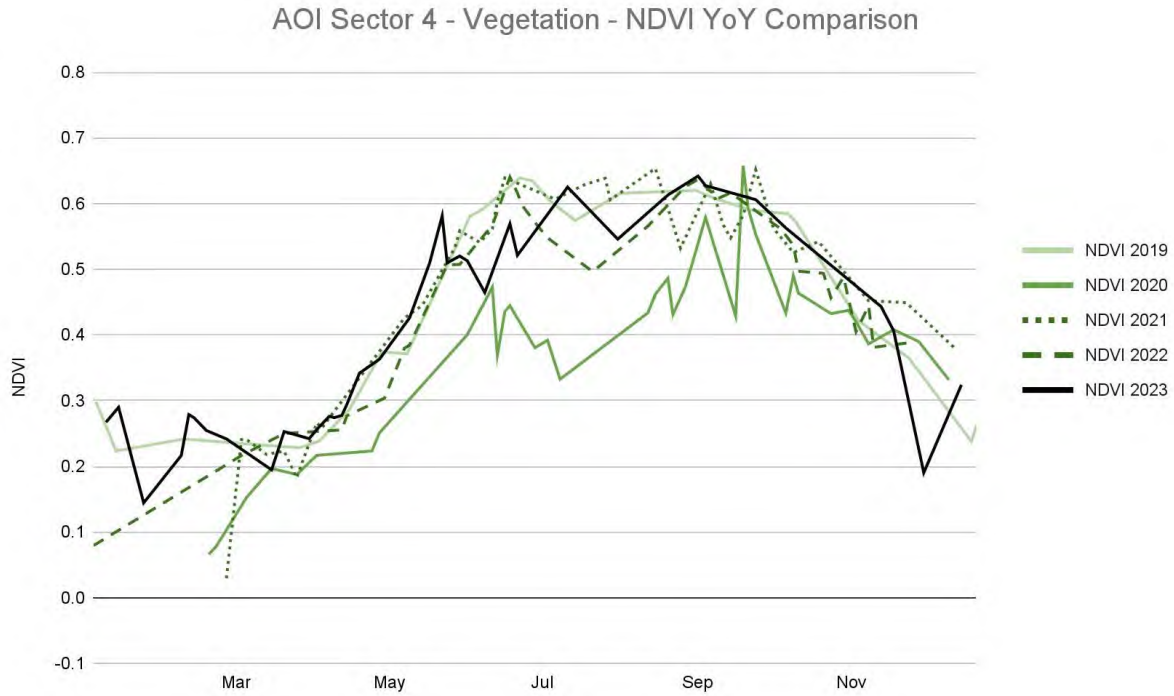
Image 2, November 9, 2023, Planet Labs - SkySat

Image 1 shows relatively lush vegetation at the beginning of the monitoring in the context of the vegetation period. The vegetation seems to be sparser at the end of the Change period (**Image 2**).



Additional Observation Detail

Observation B - Time series



NDVI (Normalized Difference Vegetation Index - defined on pg. 4) time series shows that this monitoring period development of vegetation around the AOI Sector 4. The values are comparable to previous years, suggesting normal vegetation health. The values align with the vegetation period, with peak values occurring in the summer and lower values in the winter. Values are similar to the previous Change period. The local peaks are caused by the atmospheric conditions at the given time (snow, clouds, etc.).



Additional Observation Detail

Observation C - High Resolution Imagery

Observation	AOI Sector	Commentary
Occupancy of Parking Areas 1 and 2	5 - Facility	The values of occupancy differ throughout the Change period in both Parking Areas.



Image 1 December 14, 2022, Planet Labs - SkySat

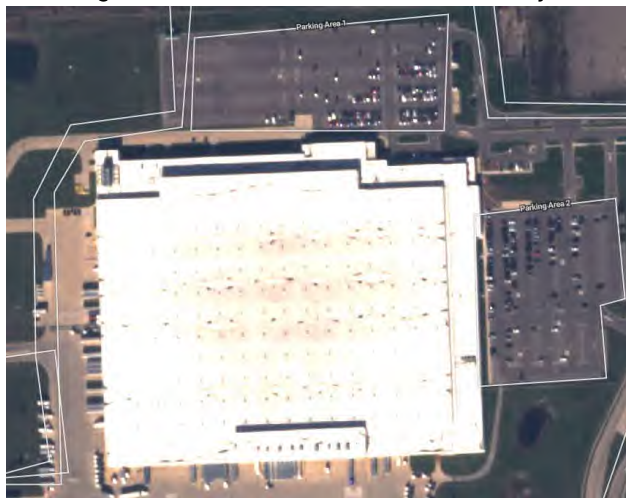


Image 2 November 9, 2023, Planet Labs - SkySat

Images 1 and **2** show the similar occupancy of Parking Area 1 in both available high-resolution imagery. On the contrary, we can observe a decrease in occupancy in parking areas at the end of the Change period. Detection of occupancy within the Change period is shown through the time series on the next page.

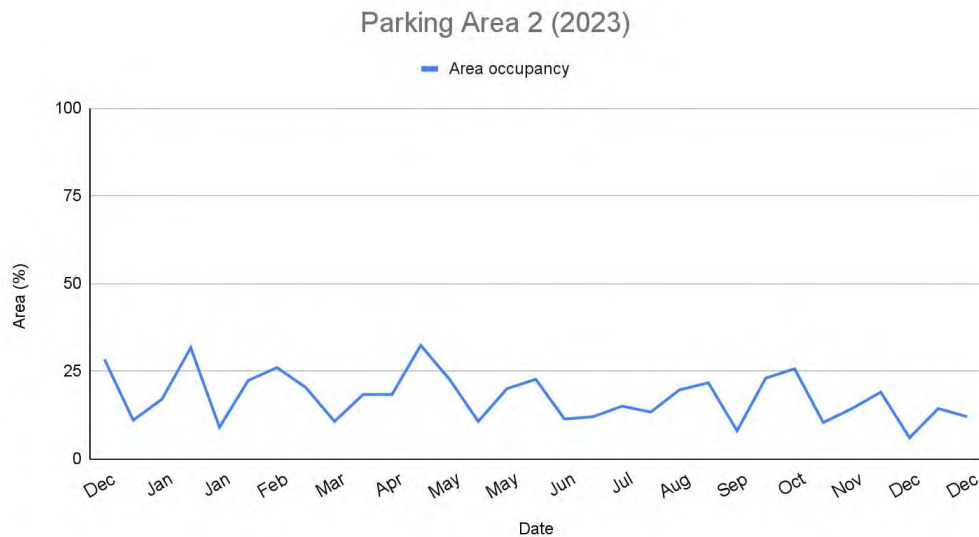


Additional Observation Detail

Observation C - Time Series



The time series of Parking Area 1 shows irregular car activity in 2023. We can observe irregular increases and decreases with no structure. Occupancy values are quite similar at the beginning of the Change period as at the end of the Change period. Optical imagery with the high resolution on the previous page confirms that the occupancy is lower in November 2023 than in December 2022.

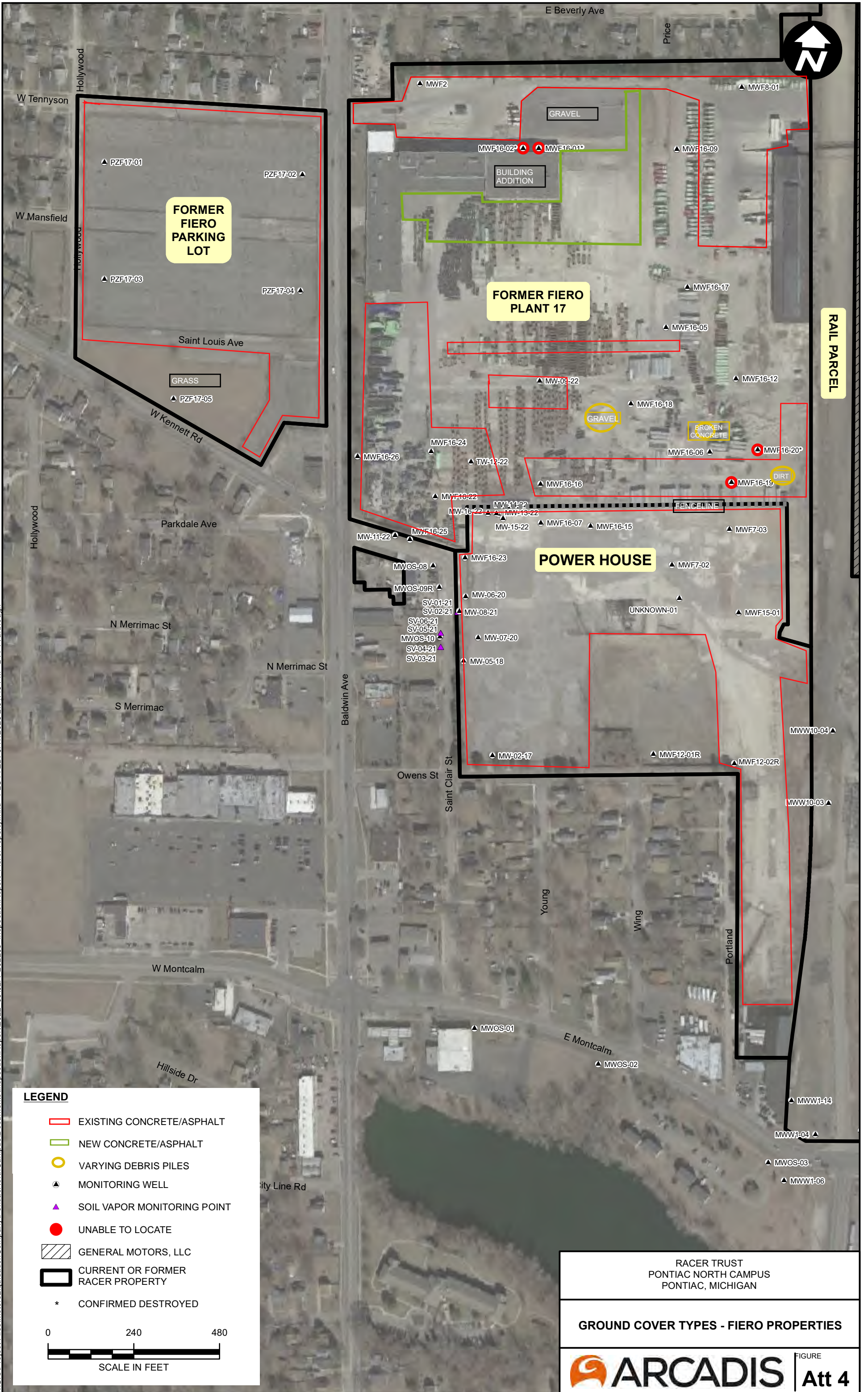


In Parking Area 2, we can observe that the occupancy was constantly changing throughout the Change period. Overall the occupancy is lower than in the previous Change period.

We can assume that the occupancy of both Parking Areas (1 and 2) has similar progress during the Change period.

Attachment 4

Ground Cover Types – Fiero Properties



RACER TRUST
 PONTIAC NORTH CAMPUS
 PONTIAC, MICHIGAN

GROUND COVER TYPES - FIERO PROPERTIES

NOTE: All areas without a ground cover boundary are dirt/loose gravel or grass.

Attachment 5

Supplemental PCB Cap Inspection Documentation

Restricted PCB Area Cap Inspection Form
 RACER Pontiac North Campus
 Pontiac, Michigan

Inspector(s): Tiffany Linder

Area Inspected: Former Plant 8 Basement Area 2 East TSCA Cap (AOI W-4)

Cap Description: Vegetated Soil PCB Cap at Grade

Date: 10/10/23

Instructions: Complete form and other referenced documents if applicable, and attach w/ Fulcrum inspection and associated photographs.

Inspection Item	Yes	No	NA	Comments
Are the four stakes which define the northwest, northeast, southeast, and southwest boundaries of the cap secured and in good condition?	X			if no, note location and specify.* Stakes are in place and good condition
Are posted signs communicating the cap location and RACER contact information in good condition?	X			if no, note location and specify.* Signs in place and good condition
Have operations or storage activities at the property which may result in disturbance infringed into the cap area?		X		if yes, specify.*
To the extent necessary based on property activities, are fencing, concrete barriers or other obstructions intact to limit access which may result in disturbance?	X			if no, specify.*
Are the six permanent monuments which define elevations in FT AMSL secured with engraved elevation markers legible?	X			if no, note location/ID and specify.*
Do any of the measures distances between the six permanent monument elevation markers and ground level indicate potential breach of the underlying PCB Cap (attach calculations)?		X		if yes, note location/ID and specify.*
Is the grass in good condition?	X			if no, specify.*
Is there evidence of any significant erosion causing depressions/gaps in the soil cap?		X		(Note design drainage is for infiltration into the overlying soil pile or sheet run-off). If yes, specify.*
Is the cap free of larger trees which have the potential to penetrate the underlying soil cap and expose soils if up-rooted at a later date?	X			if no, specify.*
Is the cap area generally free of debris/trash?	X			if no, specify.*
In summary, do conditions exist which warrant initiation of short term corrective measures necessary to repair or maintain the integrity of the PCB soil cap?		X		if yes, specify.*

Additional Comments/Observations.
 Cap area in good condition - not too much vegetation growth since being cut last year.

Short Term Corrective Actions Required:
 none

Future Preventative Maintenance Considerations Noted:
 none

Racer PNC Pontiac Site

Restricted PCB Cap Area Monument Coordinate Data

Coordinate System: NAD_1983_StatePlane_Michigan_South_FIPS_2113_Feet_Int'l

Area	Monument ID	Survey Date	Point_X	Point_Y	T.O. Monument (ft amsl)	Measured Height on 10/10/2023 Above Ground Level (inches)	Ground Level (ft amsl)	Original Documented As-Built Top of Cap Elevation (ft amsl)	Original Documented PCB-Impacted Material Elevation (ft amsl)	Minimum Cap + Buffer Thickness (ft) *
Former Plant 8 (Tatro) East Area 2	S2-1	8/28/2019	13413280.40	424691.46	967.82	3.5	967.53	968.80	966.80	0.73
	S2-2	8/28/2019	13413522.64	424697.26	968.73	6.0	968.23	972.00	966.00	2.23
	S2-3	8/28/2019	13413522.49	424848.77	968.16	3.0	967.91	972.00	966.00	1.91
	S2-4	8/28/2019	13413268.35	424843.49	968.84	5.0	968.42	968.80	966.80	1.62
	S2-5	8/28/2019	13413394.93	424845.95	970.91	8.0	970.24	971.00	966.80	3.44
	S2-6	8/28/2019	13413401.34	424694.19	968.82	4.0	968.48	971.00	966.80	1.68

* Represents a conservative/worst case minimum thickness not accounting for potential settling of the PCB impacted material over time.

Restricted PCB Area Cap Inspection Form
 RACER Pontiac North Campus
 Pontiac, Michigan

Inspector(s): Tiffany Linder

Area Inspected: Former Plant 8 Basement Area 1 West TSCA Cap (AOI W-5)

Cap Description: Soil Cap Overlain by Mounded and Vegetated Soil Pile

Date: 10/10/23

Instructions: Complete form and other referenced documents if applicable, and attach w/ Fulcrum inspection and associated photographs.

Inspection Item	Yes	No	NA	Comments
Are the six stakes which define the east, north/east-central, north/west-central, west, south/east-central, and south/west central boundaries of the cap secured and in good condition?	X			If no, note location and specify.*
Are the six posted signs communicating the cap location and RACER contact information in good condition?	X			If no, note location and specify.* Signs in good condition but only saw 4 signs
Have operations or storage activities at the property which may result in disturbance infringed into the cap area?		X		If yes, specify.*
To the extent necessary based on property activities, are fencing, concrete barriers or other obstructions intact to limit access which may result in disturbance?	X			If no, specify.*
Are the ten permanent monuments which define elevations in FT AMSL secured with engraved elevation markers legible?	X			If no, note location/ID and specify.* marker S1-6 is at ground level & buried so may need to be raised
Do any of the measures distances between the ten permanent monument elevation markers and ground level indicate potential breach of the underlying PCB Cap (attach calculations)?		X		If yes, note location/ID and specify.*
Is the grass in good condition?	X			If no, specify.*
Is there evidence of any significant erosion causing depressions/gaps in the soil pile above the cap which could potentially penetrate down into the cap?		X		(Note design drainage is for infiltration into the overlying soil pile or sheet run-off). If yes, specify.*
Is the cap free of larger trees which have the potential to penetrate the underlying soil cap and expose soils if up-rooted at a later date?	X			If no, specify.*
Is the cap area generally free of debris/trash?	X			If no, specify.*
In summary, do conditions exist which warrant initiation of short term corrective measures necessary to repair or maintain the integrity of the underlying PCB soil cap?		X		If yes, specify.*
Additional Comments/Observations.				
marker S1-6 was at ground level & partially buried may need to be reset.				
- orange stakes maybe freshly painted orange				
Short Term Corrective Actions Required:				
none				
Future Preventative Maintenance Considerations Noted:				
none				

Racer PNC Pontiac Site

Restricted PCB Cap Area Monument Coordinate Data

Coordinate System: NAD_1983_StatePlane_Michigan_South_FIPS_2113_Feet_Int'l

Area	Monument ID	Survey Date	Point_X	Point_Y	T.O. Monument (ft amsl)	Measured Height on 10/10/2023 Above Ground Level (inches)	Ground Level (ft amsl)	Original Documented As-Built Top of Cap Elevation (ft amsl)	Original Documented PCB-Impacted Material Elevation (ft amsl)	Minimum Cap + Buffer Thickness (ft) *
Former Plant 8 (Tatro) West Area 1	S1-1	8/28/2019	13412287.90	424741.01	974.17	9.0	973.42	969.50	967.50	5.92
	S1-2	8/28/2019	13412290.09	424681.40	980.39	7.5	979.77	969.50	967.50	12.27
	S1-3	8/28/2019	13412438.77	424749.61	977.63	9.0	976.88	970.50	968.50	8.38
	S1-4	8/28/2019	13412434.93	424689.17	976.88	8.0	976.22	970.50	968.50	7.72
	S1-5	8/28/2019	13412740.97	424766.60	972.72	1.5	972.60	969.50	967.50	5.10
	S1-6	8/28/2019	13412748.07	424705.46	973.70	0.5	973.66	969.50	967.50	6.16
	S1-7	8/28/2019	13412603.03	424758.87	975.40	7.0	974.82	970.50	968.50	6.32
	S1-8	8/28/2019	13412595.77	424697.84	975.47	7.0	974.89	970.50	968.50	6.39
	S1-9 **	8/28/2019	13412444.59	424654.67	970.02	7.0	969.44	NA	NA	NA
	S1-10 **	8/28/2019	13412597.90	424667.98	970.26	5.0	NA	NA	NA	NA

* Represents a conservative/worst case minimum thickness not accounting for potential settling of the PCB impacted material over time.

** Designates reference point outside of Cap Area given the elevation of the soil pile above the cap.

NA Not Available

For S1-5 and S1-6, monument elevation marker was at or slightly under grade and covered by dirt and gravel. Local grade contouring was performed to provide for buffer against potentially being covered. May consider re-setting monuments at higher elevation based on future observations.

Restricted PCB Area Cap Inspection Form
RACER Pontiac North Campus
Pontiac, Michigan

Inspector(s): Tiffany Linder

Area Inspected: USPS Southeast TSCA Cap Area (AOI W-9)

Date: 10/10/23

Cap Description: Primarily Paved PCB Cap Area at Grade
 (USPS Loading Docks, Trailer Storage, & Minimal Lawn Space)

Instructions: Complete form and other referenced documents if applicable, and attach w/ Fulcrum inspection and associated photographs.

Inspection Item	Yes	No	NA	Comments
Is the USPS fence restricting outside access into the USPS facility from the south and east sides intact and gates closed and locked?	X			If no, note location and specify.*
Have operations or storage activities at the property which may result in disturbance infringed into the cap area?		X		If yes, specify.*
Is the condition of paved surfaces intact and free of potholes or sink holes which extend into the underlying soils?	X			If no, note location/ID and specify.*
Where present on the far south and east sides of the cap area, is the condition of the grass in good condition?	X			If no, specify.*
Is there evidence of any significant erosion causing depressions/gaps in the soil cap in the unpaved/vegetated areas?		X		(Note design drainage is for infiltration into the overlying soil pile or sheet run-off). If yes, specify.*
Is the cap free of larger trees which have the potential to penetrate the underlying soil cap and expose soils if up-rooted at a later date?	X			If no, specify.*
Is the cap area generally free of debris/trash?	X			If no, specify.* <u>Some trash observed on ground</u>
In summary, do conditions exist which warrant initiation of short term corrective measures necessary to repair or maintain the integrity of the PCB soil cap?		X		If yes, specify.*
Additional Comments/Observations.				
<u>- cap area in good condition</u>				
Short Term Corrective Actions Required:				
Future Preventative Maintenance Considerations Noted:				

Restricted PCB Area Cap Inspection Form
 RACER Pontiac North Campus
 Pontiac, Michigan

Inspector(s): Tiffany A Linder

Area Inspected: USPS West Yard North TSCA Cap (AOI W-1)

Cap Description: Vegetated Soil PCB Cap at Grade

Date: 10/10/23

Instructions: Complete form and other referenced documents if applicable, and attach w/ Fulcrum inspection and associated photographs.

Inspection Item	Yes	No	NA	Comments
Is the USPS fence restricting outside access into the West Yard from the south, west and north sides intact and gates closed and locked?	X			If no, note location and specify.*
Have operations or storage activities at the property which may result in disturbance infringed into the cap area?		X		If yes, specify.*
Are the ten permanent monuments which define elevations in FT AMSL secured with engraved elevation markers legible?	X			If no, note location/ID and specify.* some are in high vegetation + hard to see
Do any of the measures distances between the ten permanent monument elevation markers and ground level indicate potential breach of the underlying PCB Cap (attach calculations)?		X		If yes, note location/ID and specify.*
Is the grass in good condition?	X			If no, specify.* very tall grass + reeds
Is there evidence of any significant erosion causing depressions/gaps in the soil cap?		X		(Note design drainage is for infiltration into the overlying soil pile or sheet run-off). If yes, specify.* area is wet from seep operation
Is the cap free of larger trees which have the potential to penetrate the underlying soil cap and expose soils if up-rooted at a later date?	X			If no, specify.*
Is the cap area generally free of debris/trash?	X			If no, specify.*
In summary, do conditions exist which warrant initiation of short term corrective measures necessary to repair or maintain the integrity of the PCB soil cap?		X		If yes, specify.*
Additional Comments/Observations.				
- tall grasses and reeds should be cut to make easier to find markers				
- marker sticks should be painted orange again to be brighter				
Short Term Corrective Actions Required:				
none				
Future Preventative Maintenance Considerations Noted:				
none				

Racer PNC Pontiac Site

Restricted PCB Cap Area Monument Coordinate Data

Coordinate System: NAD_1983_StatePlane_Michigan_South_FIPS_2113_Feet_Int'l

Area	Monument ID	Survey Date	Point_X	Point_Y	T.O. Monument (ft amsl)	Measured Height on 10/10/2023 Above Ground Level (inches)	Ground Level (ft amsl)	Original Documented As-Built Top of Cap Elevation (ft amsl)	Original Documented PCB-Impacted Material Elevation (ft amsl)	Estimated Cap + Buffer Thickness (ft) *
USPS North Cap	USPS-N1	2/6/2020	13412287.90	423597.73	969.88	6.0	969.38	969.80	967.80	2.58
	USPS-N2	2/6/2020	13412322.93	423610.19	969.47	10.0	968.64	969.40	967.40	2.24
	USPS-N3	2/6/2020	13412366.00	423601.87	969.42	16.0	968.09	968.90	966.90	2.19
	USPS-N4	2/6/2020	13412384.36	423533.79	967.17	3.0	966.92	967.10	965.10	2.82
	USPS-N5	2/6/2020	13412340.77	423514.95	968.44	6.5	967.90	968.40	966.40	2.50
	USPS-N6	2/6/2020	13412304.94	423517.84	969.50	9.0	968.75	968.80	966.80	2.95
	USPS-N7	2/6/2020	13412254.17	423536.09	969.95	2.0	969.78	969.70	967.70	3.08
	USPS-N8	2/6/2020	13412194.83	423569.10	971.26	8.5	970.55	971.20	969.20	2.35
	USPS-N9	2/6/2020	13412205.41	423620.49	971.48	12.0	970.48	971.20	969.20	2.28
	USPS-N10	2/6/2020	13412272.38	423615.60	970.01	9.0	969.26	970.20	968.20	2.06

* Represents a best estimate of the thickness of the cap accounting for 1 foot of settling of the PCB impacted material which occurred within 6 months of excavation backfill activities in 2020, after which additional clean fill was applied to grade.

Restricted PCB Area Cap Inspection Form
 RACER Pontiac North Campus
 Pontiac, Michigan

Inspector(s): Tiffany Linder

Area Inspected: USPS West Yard South TSCA Cap (AOI W-1)

Date: 10/10/23

Cap Description: Vegetated Soil PCB Cap at Grade

Instructions: Complete form and other referenced documents if applicable, and attach w/ Fulcrum inspection and associated photographs.

Inspection Item	Yes	No	NA	Comments
Is the USPS fence restricting outside access into the West Yard from the south, west and north sides intact and gates closed and locked?	X			If no, note location and specify.*
Have operations or storage activities at the property which may result in disturbance infringed into the cap area?		X		If yes, specify.*
Are the eight permanent monuments which define elevations in FT AMSL secured with engraved elevation markers legible?	X			If no, note location/ID and specify.* <i>Some are in high vegetation and hard to locate</i>
Do any of the measures distances between the eight permanent monument elevation markers and ground level indicate potential breach of the underlying PCB Cap (attach calculations)?		X		If yes, note location/ID and specify.*
Is the grass in good condition?	X			If no, specify.*
Is there evidence of any significant erosion causing depressions/gaps in the soil cap?		X		(Note design drainage is for infiltration into the overlying soil pile or sheet run-off). If yes, specify.* <i>area is wet from operation of seep</i>
Is the cap free of larger trees which have the potential to penetrate the underlying soil cap and expose soils if up-rooted at a later date?	X			If no, specify.*
Is the cap area generally free of debris/trash?	X			If no, specify.*
In summary, do conditions exist which warrant initiation of short term corrective measures necessary to repair or maintain the integrity of the PCB soil cap?		X		If yes, specify.*

Additional Comments/Observations.

- area could be cut of tall reeds + grasses
- paint marker sticks orange. So can see better as they are faded.

Short Term Corrective Actions Required:

none

Future Preventative Maintenance Considerations Noted:

none

Racer PNC Pontiac Site

Restricted PCB Cap Area Monument Coordinate Data

Coordinate System: NAD_1983_StatePlane_Michigan_South_FIPS_2113_Feet_Int'l

Area	Monument ID	Survey Date	Point_X	Point_Y	T.O. Monument (ft amsl)	Measured Height on 10/10/2023 Above Ground Level (inches)	Ground Level (ft amsl)	Original Documented As-Built Top of Cap Elevation (ft amsl)	Original Documented PCB-Impacted Material Elevation (ft amsl)	Estimated Cap + Buffer Thickness (ft) *
USPS South Cap	USPS-S1	2/6/2020	13412166.62	423482.41	971.82	4.0	971.49	971.80	969.80	2.69
	USPS-S2	2/6/2020	13412178.18	423519.63	971.14	3.0	970.89	970.70	968.70	3.19
	USPS-S3	2/6/2020	13412205.55	423519.45	971.39	10.5	970.52	970.20	968.20	3.31
	USPS-S4	2/6/2020	13412234.35	423483.95	971.34	9.0	970.59	970.30	968.30	3.29
	USPS-S5	2/6/2020	13412207.14	423428.62	974.78	10.5	973.91	974.50	972.50	2.40
	USPS-S6	2/6/2020	13412159.44	423448.56	974.72	18.0	973.22	974.50	972.50	1.72
	USPS-S7	2/6/2020	13412124.35	423471.11	973.99	18.0	972.49	973.80	971.80	1.69
	USPS-S8	2/6/2020	13412135.57	423502.75	972.29	13.5	971.17	971.80	969.80	2.37

* Represents a best estimate of the thickness of the cap accounting for 1 foot of settling of the PCB impacted material which occurred within 6 months of excavation backfill activities in 2020, after which additional clean fill was applied to grade.